

NOTICE OF PUBLIC MEETING

Governmental Body: Van Meter Planning and Zoning Commission

Date of Meeting: Monday August 2nd, 2021

Time/Location of Meeting: 5:30 PM – City Hall, 310 Mill Street

Agenda:

1. Call to Order/Roll Call
2. Approval of Agenda
3. Approval of Minutes – 6-7-2021
4. Discussion and Action – Grand Ridge Estates Plat 1 Final Plat
5. Discussion and Action – Liberty Ready Mix Plat of Survey and Site Plan
6. Discussion and Action – Urban Renewal Plan Amendment Re. Trindle Ridge
7. Adjournment

Posted this 30th Day of July 2021

Meeting Minutes

Governmental Body: Van Meter Planning and Zoning Commission

Date of Meeting: Monday, June 7th, 2021

Time/Location of Meeting: 5:30 PM – 310 Mill Street

Agenda:

1. Call to Order/Roll Call
Wahlert called the meeting to order at 5:31
Roll was called: Harrison, Hulse, Wahler, Akers, Bruins, DeVore present. Feldman absent.
Staff present included City Administrator Kyle Michel, City Engineer Bob Veenstra
2. Approval of Agenda
Wahlert moved, supported by Akers, to approve the agenda as published. Motion carried unanimously.
3. Approval of Minutes –5-3-2021 Meeting Minutes
Harrison moved, supported by Wahlert, to approve the minutes. Motion carried unanimously.
4. Discussion and Action: Hudson Heights Plat 1 Preliminary Plat
Paul Clausen, CEC, was to provide an overview of the update preliminary plat to address neighborhood connectivity issues raised during Council discussion on May 10th, 2021.
Akers moved, supported by Hulse, to recommend approval to Council as submitted.
Motion carried unanimously.
5. Discussion and Action: Trindle Ridge Preliminary Plat
Dan Cornelison and Jon Sieck were present to represent the proposed development project.
City Engineer Veenstra provided an overview on comments associated with the plat submittals.
Wahlert moved, supported by Akers, the recommend approval of the preliminary plat to Council subject to satisfactory resolution of all outstanding comments made by the City Engineer in addition to the completion of a hydrology study to show how this project will impact downstream property owners and advised that Council review storm water management recommendations made by the City Engineer prior to approval of the plat submittal. Motion carried unanimously.
6. Adjournment
Motion by Hulse, supported by Harrison. Motion carried unanimously.
The meeting was adjourned at 6:25 pm.

OFFICIAL'S
STAMP

FINAL PLAT GRAND RIDGE ESTATES PLAT I NW1/4 - SEC. 34-78-27 VAN METER, IOWA

INDEX LEGEND					
COUNTY:	DALLAS				
	SECTION	TOWNSHIP	RANGE	1/4 1/4	1/4
ALIQUOT PART:	34	78	27	NW1/4	NW1/4
	34	78	27	NE1/4	NW1/4
CITY:	VAN METER				
SUBDIVISION:	QUIST SUBDIVISION				
LOTS:	LOT 1				
PROPRIETOR (S):	VAN METER LAND CO. L.L.C.				
REQUESTED BY:	VAN METER LAND CO. L.L.C.				
PROFESSIONAL LAND SURVEYOR:	JEFFREY A. GADDIS, PLS				
	CIVIL ENGINEERING CONSULTANTS, INC ATTN: JEFFREY A. GADDIS, PLS 2400 86TH STREET, SUITE 12 URBANDALE, IA 50322				

BOUNDARY CLOSURE TABLE

NORTH: 553262.0624' EAST: 1518528.4591'
SEGMENT #1 : LINE

COURSE: 500°23'17.56"W LENGTH: 1313.45'
NORTH: 551948.6606' EAST: 1518517.7674'

SEGMENT #2 : LINE

COURSE: N84°42'22.44"W LENGTH: 665.33'
NORTH: 551952.0718' EAST: 1517852.4462'

SEGMENT #3 : LINE

COURSE: N84°48'02.44"W LENGTH: 561.82'
NORTH: 551954.0263' EAST: 1517290.6296'

SEGMENT #4 : LINE

COURSE: N84°55'53.44"W LENGTH: 344.10'
NORTH: 551954.4474' EAST: 1516816.5291'

SEGMENT #5 : LINE

COURSE: N84°41'08.44"W LENGTH: 435.48'
NORTH: 551955.8730' EAST: 1516461.0320'

SEGMENT #6 : LINE

COURSE: N84°39'36.44"W LENGTH: 484.90'
NORTH: 551958.7494' EAST: 1516416.1606'

SEGMENT #7 : LINE

COURSE: N02°08'24.56"E LENGTH: 485.34'
NORTH: 552443.7504' EAST: 1515944.2964'

SEGMENT #8 : LINE

COURSE: N03°18'21.56"E LENGTH: 835.16'
NORTH: 553271.5206' EAST: 1516042.4592'

SEGMENT #9 : LINE

COURSE: S84°38'38.44"E LENGTH: 429.52'
NORTH: 553274.8519' EAST: 1516471.9709'

SEGMENT #10 : LINE

COURSE: S00°23'17.56"W LENGTH: 500.07'
NORTH: 552774.7454' EAST: 1516468.5827'

SEGMENT #11 : LINE

COURSE: S84°39'42.44"E LENGTH: 435.21'
NORTH: 552772.2244' EAST: 1516403.7851'

SEGMENT #12 : LINE

COURSE: N01°02'34.56"E LENGTH: 449.96'
NORTH: 553272.1016' EAST: 1516412.8852'

SEGMENT #13 : LINE

COURSE: S84°38'38.44"E LENGTH: 1616.11'
NORTH: 553262.0604' EAST: 1518528.4640'

PERIMETER: 8656.45' AREA: 3044268.26 SQ. FT.
ERROR CLOSURE: 0.0055' COURSE:
S63°37'47.54"E
ERROR NORTH: -0.00245' EAST: 0.00444'

PRECISION 1: 1513900.00

UTILITIES

VAN METER PUBLIC WORKS
ADDRESS: 310 MILL STREET,
VAN METER, IOWA 50261
PHONE: (515) 996-2644

SANITARY SEWER - CITY OF VAN METER
STORM SEWER - CITY OF VAN METER
WATER - CITY OF VAN METER

ELECTRIC AND NATURAL GAS UTILITY

MIDAMERICAN ENERGY CORPORATION
666 GRAND AVENUE
DES MOINES, IA 50304
CONTACT: MATT REINHARDT
PHONE: 515-515-252-6413
EMAIL: MREINHARDT@MIDAMERICAN.COM

TELEPHONE

CENTURY LINK
4201 KINGMAN BLVD. 2nd FLOOR
DES MOINES, IA 50311
CONTACT: GINDY CARTER
PHONE: 515-554-3316

BUILDING DEPARTMENT

CITY OF VAN METER
ADDRESS: 310 MILL STREET,
VAN METER, IOWA 50261
PHONE: (515) 996-2644

HEALTH DEPARTMENT

DALLAS COUNTY
PUBLIC HEALTH DEPARTMENT
ADDRESS: 25747 N AVENUE,
ADEL, IA 50003
PHONE: (515) 993-3750

FIRE DEPARTMENT

505 GRANT ST.
VAN METER, IA 50261
DIRECTOR DAGGETT: 515-202-4154
STATION PHONE NUMBER -515-993-4567

NOTES

- LOTS 'A' 'B' 'C' 'D' 'E' 'F' 'G' 'H' 'I' 'J' AND LOT 'K' ARE TO BE DEDICATED TO CITY OF VAN METER FOR ROAD PURPOSES. THERE IS NO LOT 'L'.
- OUTLOT 'Y' SHALL BE DEDICATED TO THE CITY OF VAN METER FOR PARKLAND AND OPEN SPACE.
- OUTLOT 'X' SHALL BE DEEDED TO ALAN & JENNIFER WILLE, 287771 HICKORY RIDGE DRIVE VAN METER, IA 50261, FOR PRIVATE ACCESS AND OWNERSHIP.
- ANY UTILITIES USE OF A PUBLIC UTILITY EASEMENT (PUE) IS SUBORDINATE TO THE CITY OF VAN METER'S USE OF THE DESIGNATED UTILITY EASEMENT AND ANY UTILITY UTILIZING THE PUE MUST RELOCATE ITS FACILITIES AT NO COST TO THE CITY IN THE EVENT OF A CONFLICT WITH THE CITY'S CURRENT OR FUTURE USE OF ITS DESIGNATED UTILITY EASEMENT.

PARKLAND DEDICATION:

CALCULATION FOR PARKLAND DEDICATION IS PER CHAPTER 173 - DEDICATION OF PARKLAND WITHIN ORDINANCE 2021-02.
SINGLE FAMILY DETACHED - 137 LOTS * 2.8 PEOPLE PER LOT = 383.6
SINGLE FAMILY ATTACHED - 68 UNITS * 2.5 PEOPLE PER UNIT = 170.0
383.6+170 = 554
554 * 0.0025 AC = 2.71 ACRES OR 120,662 SF.
MINIMUM DEDICATION REQUIRED FOR ANY DEVELOPMENT: 20,000 SF.



VICINITY MAP
1" = 1000'



GENERAL LEGEND

- PROPOSED**
- FLAT BOUNDARY
 - SECTION LINE
 - LOT LINE
 - CENTERLINE
 - EASEMENT LINE
 - FLARED END SECTION
 - DRAIN BASIN OR SEDIMENT RISER
 - DRAIN BASIN WITH SOLID GRATE
 - WATER VALVE
 - FIRE HYDRANT ASSEMBLY
 - BLOW-OFF HYDRANT
 - SCOUR STOP MAT
 - TURF REINFORCEMENT MAT
 - STORM SEWER WITH SIZE
 - SUBDRAIN
 - WATER SEWER WITH SIZE
 - WATER SERVICE
 - PROPOSED CONTOUR
 - SILT FENCE
 - ADDRESS
 - RIPRAP

- EXISTING**
- LOT LINE
 - SANITARY/STORM MANHOLE
 - WATER VALVE
 - FIRE HYDRANT
 - STORM SEWER SINGLE INTAKE
 - STORM SEWER DOUBLE INTAKE
 - STORM SEWER ROUND INTAKE
 - FLARED END SECTION
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - SHRUB
 - POWER POLE
 - STREET LIGHT
 - GUY ANCHOR
 - ELECTRIC TRANSFORMER
 - GAS METER
 - TELEPHONE RISER
 - SIGN
 - CATV
 - UNDERGROUND TELEVISION
 - USE
 - UNDERGROUND ELECTRIC
 - UNDERGROUND GAS
 - UNDERGROUND FIBER OPTIC
 - UNDERGROUND TELEPHONE
 - OVERHEAD ELECTRIC
 - SANITARY SEWER WITH SIZE
 - STORM SEWER WITH SIZE
 - WATER MAIN WITH SIZE
 - EXISTING CONTOUR
 - TREELINE
 - BUILDING SETBACK LINE
 - PUBLIC UTILITY EASEMENT
 - MINIMUM OPENING ELEVATION

Sheet List Table	
Sheet Number	Sheet Title
01	FINAL PLAT COVER
02	BOUNDARY DIMENSION PLAN
03	DIMENSION PLAN - EAST
04	DIMENSION PLAN - MIDDLE
05	DIMENSION PLAN - WEST

SUBMITTAL TABLE	
SUBMITTAL DATE	SUBMITTAL NOTES
JUNE 16, 2021	INITIAL SUBMITTAL
JUNE 30, 2021	
JULY 22, 2021	

PROPERTY OWNER / DEVELOPER / APPLICANT:

VAN METER LAND COMPANY, LLC
8400 PLUM DRIVE, SUITE 100
URBANDALE, IOWA 50322
CONTACT: DUSTIN JONES
PH: 515-225-6677
EMAIL: D.JONES@AGGIONA.COM

PROJECT MANAGER:

PAUL CLAUSEN, PE,
CIVIL ENGINEERING CONSULTANTS
2400 86TH STREET, #12
DES MOINES, IOWA 50322
PH: 515-276-4884 EXT. 221
EMAIL: CLAUSEN@CECLAC.COM

PROFESSIONAL LAND SURVEYOR:

CIVIL ENGINEERING CONSULTANTS, INC.
PH: JEFFREY A. GADDIS, PLS
2400 86TH STREET, SUITE 12
URBANDALE, IA 50322
PH: 515-276-4884 EXT. 221
EMAIL: GADDIS@CECLAC.COM

MUNICIPALITY PLANNER:

KYLE MICHEL
CITY ADMINISTRATOR
CITY OF VAN METER, IOWA
PHONE: (515) 996-2644
EMAIL: KMICHEL@VANMETERIA.GOV

LEGAL DESCRIPTION

LOT 1, QUIST SUBDIVISION AN OFFICIAL PLAT RECORDED IN BOOK 746, PAGE 136 AT THE DALLAS COUNTY RECORDER'S OFFICE AND BEING IN THE N 1/2 OF THE NW 1/4 OF SECTION 34, TOWNSHIP 78 N, RANGE 27 W OF THE 5th P.M., DALLAS COUNTY, IOWA.

AND

BEGINNING AT THE N 1/4 OF SECTION 34, TOWNSHIP 78 N, RANGE 27 W OF THE 5TH P.M., DALLAS COUNTY, IOWA; THENCE S00°23'18"W, 1313.45 FEET ALONG THE COUNTY HIGHWAY R16 CENTERLINE AS IT IS PRESENTLY ESTABLISHED TO THE SE CORNER OF SAID SECTION 34, SAID CORNER ALSO BEING THE NE CORNER OF CRESTVIEW ESTATES PLAT I AN OFFICIAL PLAT RECORDED IN BOOK 2006, PAGE 5919 AT THE DALLAS COUNTY RECORDER'S OFFICE; THENCE N84°42'22"W, 665.33 FEET ALONG THE NORTH LINE OF SAID CRESTVIEW ESTATES PLAT I TO A POINT, SAID POINT BEING THE NE CORNER OF LOT 38 OF SAID CRESTVIEW ESTATES PLAT I; THENCE N84°55'53"W, 344.10 FEET ALONG THE NORTH LINE OF SAID CRESTVIEW ESTATES PLAT I TO THE SE CORNER OF SAID LOT 1 OF QUIST SUBDIVISION; THENCE N00°30'24"E, 817.76 FEET ALONG THE EAST LINE OF LOT 1 OF QUIST SUBDIVISION TO THE SE CORNER OF LOT 1 OF QUIST SUBDIVISION, AN OFFICIAL PLAT RECORDED IN BOOK 782, PAGE 784 AT THE DALLAS COUNTY RECORDER'S OFFICE; THENCE N01°02'35"E, 500.10 FEET TO A POINT; THENCE S84°38'38"E, 1616.11 FEET TO THE POINT OF BEGINNING AND CONTAINING 48.90 ACRES MORE OR LESS.

TOTAL LAND AREA:

3,044,268 SQ. FT.
71.03 AC.

EXISTING ZONING:

C-3 - COMMERCIAL
R-3 - MULTIPLE FAMILY
R-2 - TWO FAMILY

PROPOSED ZONING:

GRAND ESTATES P.U.D.

FLOOD ZONE

ZONE 'X' ACCORDING TO FEMA FLOOD INSURANCE RATE MAPS.
COMMUNITY-PANEL #19161C0107G
MAP REVISED NOVEMBER 16, 2018.

CERTIFICATIONS

*** THIS LAND SURVEYOR'S CERTIFICATION DOES NOT INCLUDE DESIGN SPOT ELEVATIONS, MINIMUM PROTECTION ELEVATIONS, MINIMUM OPENING ELEVATIONS, MINIMUM BASEMENT ELEVATIONS, DETENTION BASIN & STORM WATER EVENT ELEVATIONS, OR ANY OTHER ITEMS THAT MAY FALL UNDER THE PRACTICE OF A PROFESSIONAL CIVIL ENGINEER. ***

PRELIMINARY	I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA. JEFFREY A. GADDIS, IOWA LICENSE NO. 18381 DATE JULY 22, 2021 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022



PUBLISH DATE: July 22, 2021

DATE OF SURVEY: JUNE 16, 2020
DESIGNED BY: PC
DRAWN BY: MEH

Civil Engineering Consultants, Inc.
2400 86th Street - Unit 12 - Des Moines, Iowa 50322
515-276-4884 - Fax: 515-276-7084 - mail@ceclac.com



PRELIMINARY
GRAND RIDGE ESTATES PLAT I
VAN METER, IOWA

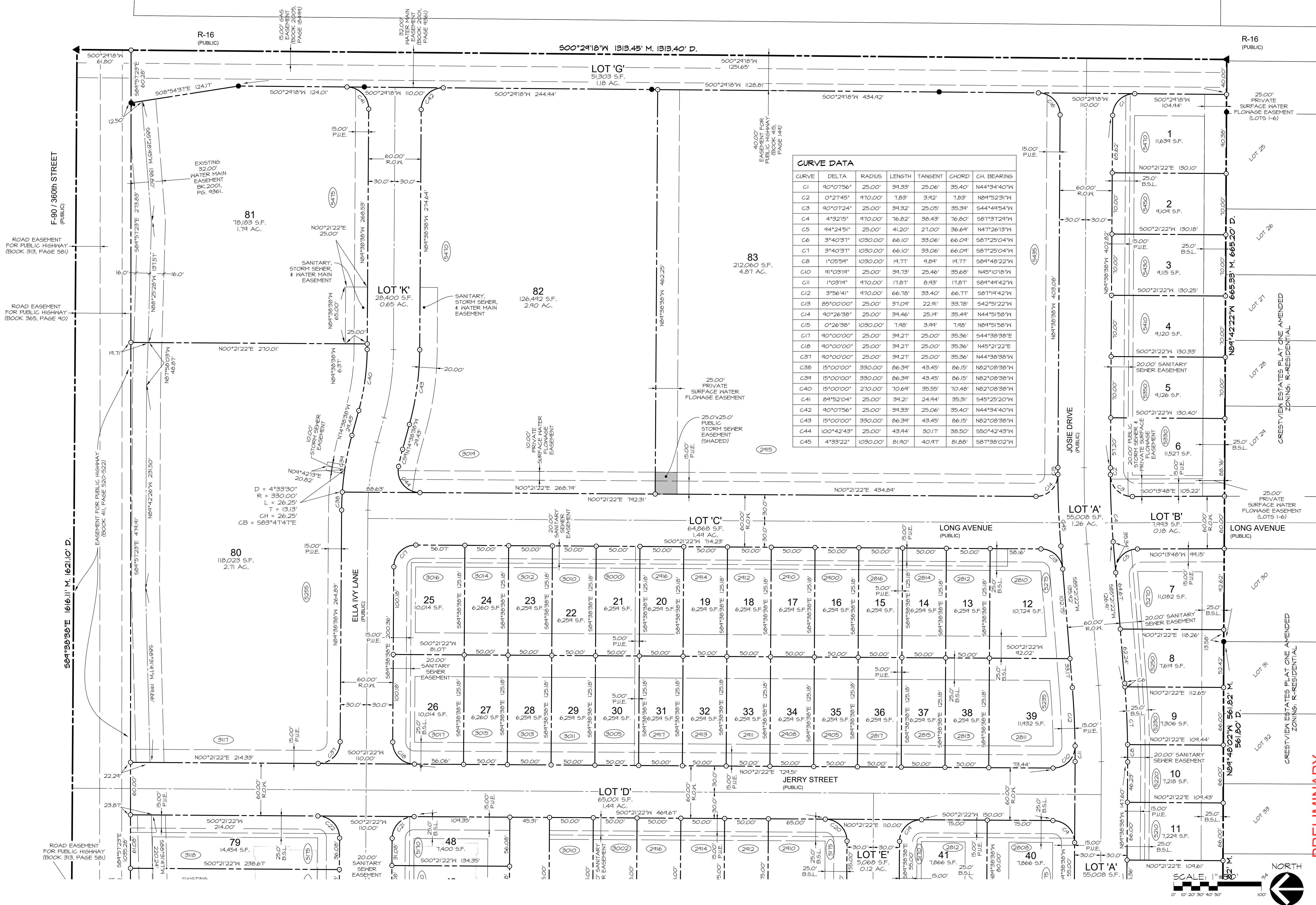
FINAL PLAT COVER

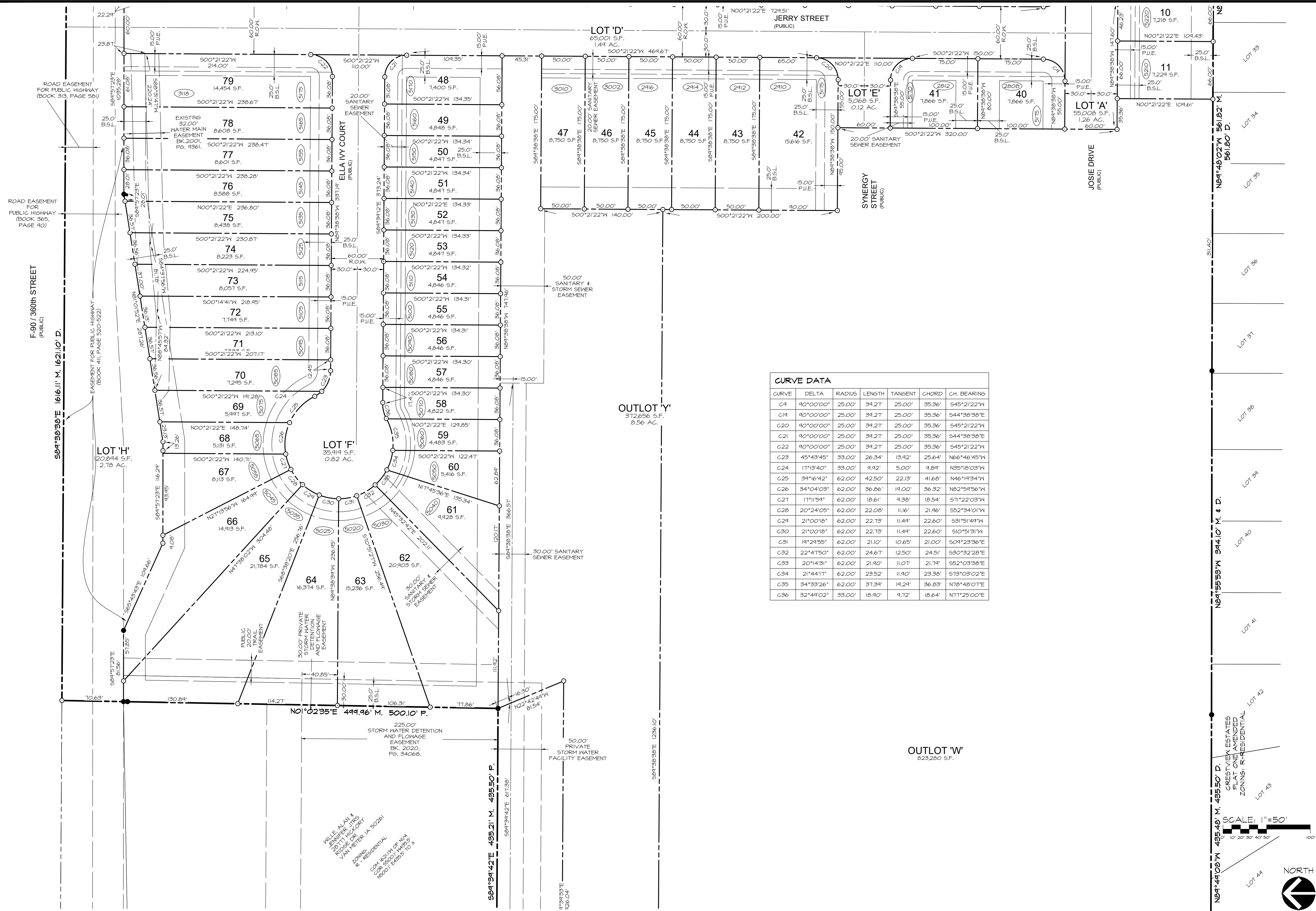
SHEET
01
OF 05

E-8233

CURVE DATA						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH BEARING
C1	3°37'20"	1000.00'	63.22'	31.62'	63.21'	58°32'42"W
C2	1°22'40"	1000.00'	24.05'	12.03'	24.05'	58°02'42"W
C3	5°00'00"	1000.00'	81.27'	43.66'	81.24'	58°15'22"W
C4	15°00'00"	300.00'	78.54'	34.50'	78.32'	58°2°08'38"E
C5	15°00'00"	300.00'	78.54'	34.50'	78.32'	58°2°08'38"E











June 17, 2021

Kyle Michel
City Administrator
City of Van Meter
505 Grant Street
P.O. Box 160
Van Meter, Iowa 50261-0160

CITY OF VAN METER, IOWA
GRAND ESTATES PLAT 1
FINAL PLAT
REVIEW COMMENTS

The writer has completed a review of the first submittal of the final plat of Grand Estates Plat 1. Based on review of the final plat the following comments are offered:

1. There are several locations where a newly designated PUE overlaps a designated City of Van Meter utility easement. The final plat should include a note indicating any utility's use of a public utility easement (PUE) is subordinate to the City of Van Meter's use of at designated utility easement and any utility utilizing the PUE must relocate its facilities at no cost to the City in the event of a conflict with the City's current or future use of its designated utility easement.
2. The final plat depicts the stormwater detention and flowage easement and private stormwater facility easement on the Wille property that is not part of the plat. These easements must be established by separate easement. Because the easements are located outside of the plat boundary it is not necessary to show the easement. However, the easements appear to be included for illustrative purposes as the easements depict part of the overall stormwater drainage facility for the plat. If the easements are shown on the plat the book and page establishing those easements should be included.
3. On Outlot J a portion of the sanitary sewer easement is illustrated. Outlot J will be conveyed to the City of Van Meter as public right-of-way. While the reference center line can be illustrated, the exterior boundary of the easement within Outlot J should not

be included as the conveyance of Outlot J effectively extinguishes the need for the easement on the public right-of-way.

4. On Lots No. 62, 63, and 64 it appears there is a stormwater detention and flowage easement. In accordance with the current City practice stormwater detention and flowage easements are private. This easement should be labeled as a private easement unless the City is assuming responsibility for the easement area.
5. At at least one location, Lot No. 9, the plat shows a stormwater and surface water flowage easement. Under the current policy the storm sewer easement is public and the surface water flowage easement would be private. It is not necessary to label the storm sewer easement as public. However, the note should indicate the surface water flowage easement is private.
6. On Lots No. 1 through 6 there is a surface water flowage easement designated. In accordance with the City's current policy surface water flowage easements are private. This easement should be labeled accordingly.
7. On Lot No. 80 and Lot No. 81 a private water main easement is noted. On Lot No. 81 there is an overlap of this easement with the sanitary storm sewer and water main easement. That note would imply the easement is public. It appears additional clarification is necessary relative to the designation of water main easements on Lots No. 80 and 81 relative to whether they are public or private.

If you have any questions or comments concerning the project, please contact the writer at 225-8000 or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink, appearing to read 'H. R. Veenstra Jr.', is positioned above the printed name.

H. R. Veenstra Jr.

HRVJr:kld
19374

Cc: Paul Clausen, Civil Engineering Consultants



Civil Engineering Consultants, Inc.

June 30, 2021

City of Van Meter
Attn: Kyle Michel, MPA
City Administrator
310 Mill Street
Van Meter, Iowa 50261

RE: Grand Estates Plat 1 – Final Plat

Dear Kyle:

On behalf of Van Meter Land Co. LLC, we are submitting this response letter for the Grand Estates Plat 1 Final Plat. This submittal includes:

- Response letter addressing the City's comments
- Revised Final Plat

The staff comments dated August 20, 2020 have been addressed as follows:

Final Plat:

1. There are several locations where a newly designated PUE overlaps a designated City of Van Meter utility easement. The final plat should include a note indicating any utility's use of a public utility easement (PUE) is subordinate to the City of Van Meter's use of at designated utility easement and any utility utilizing the PUE must relocate its facilities at no cost to the City in the event of a conflict with the City's current or future use of its designated utility easement. **Note No. 4 has been added to the cover sheet.**
2. The final plat depicts the stormwater detention and flowage easement and private stormwater facility easement on the Wille property that is not part of the plat. These easements must be established by separate easement. Because the easements are located outside of the plat boundary it is not necessary to show the easement. However, the easements appear to be included for illustrative purposes as the easements depict part of the overall stormwater drainage facility for the plat. If the easements are shown on the plat the book and page establishing those easements should be included. **The easements have been shown and for illustrative purposes. The book and pages of the recorded easements have been added to the callouts.**
3. On Outlot J a portion of the sanitary sewer easement is illustrated. Outlot J will be conveyed to the City of Van Meter as public right-of-way. While the reference center line can be illustrated, the exterior boundary of the easement within Outlot J should not be included as the conveyance of Outlot J effectively extinguishes the need for the easement on the public right-of-way. **The sanitary sewer easement has been revised to end at the dedicated ROW.**
4. On Lots No. 62, 63, and 64 it appears there is a stormwater detention and flowage easement. In accordance with the current City practice stormwater detention and flowage easements are private. This easement should be labeled as a private easement unless the City is assuming responsibility for the easement area. **The easement has been called out as private.**



Civil Engineering Consultants, Inc.

5. At at least one location, Lot No. 9, the plat shows a stormwater and surface water flowage easement. Under the current policy the storm sewer easement is public and the surface water flowage easement would be private. It is not necessary to label the storm sewer easement as public. However, the note should indicate the surface water flowage easement is private. **All surface water flowage easements have been labeled as private. The public storm sewer and private surface water flowage easements have been called out separately on Lot 9.**
6. On Lots No. 1 through 6 there is a surface water flowage easement designated. In accordance with the City's current policy surface water flowage easements are private. This easement should be labeled accordingly. **The surface water flowage easement has been labeled as private.**
7. On Lot No. 80 and Lot No. 81 a private water main easement is noted. On Lot No. 81 there is an overlap of this easement with the sanitary storm sewer and water main easement. That note would imply the easement is public. It appears additional clarification is necessary relative to the designation of water main easements on Lots No. 80 and 81 relative to whether they are public or private. **The easement callouts in this area have been revised. Would the City allow for a public sanitary sewer, storm sewer, and water main easement on Lots 81 and 82?**

Please review this information at your earliest convenience. If you have any additional comments or questions do not hesitate to contact us.

Sincerely,
Civil Engineering Consultants, Inc.

A handwritten signature in blue ink that reads 'Paul Clausen'.

Paul Clausen, P.E.

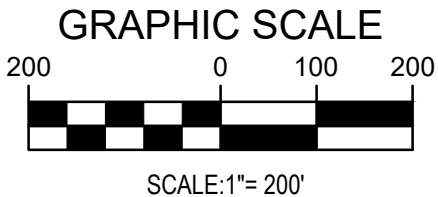
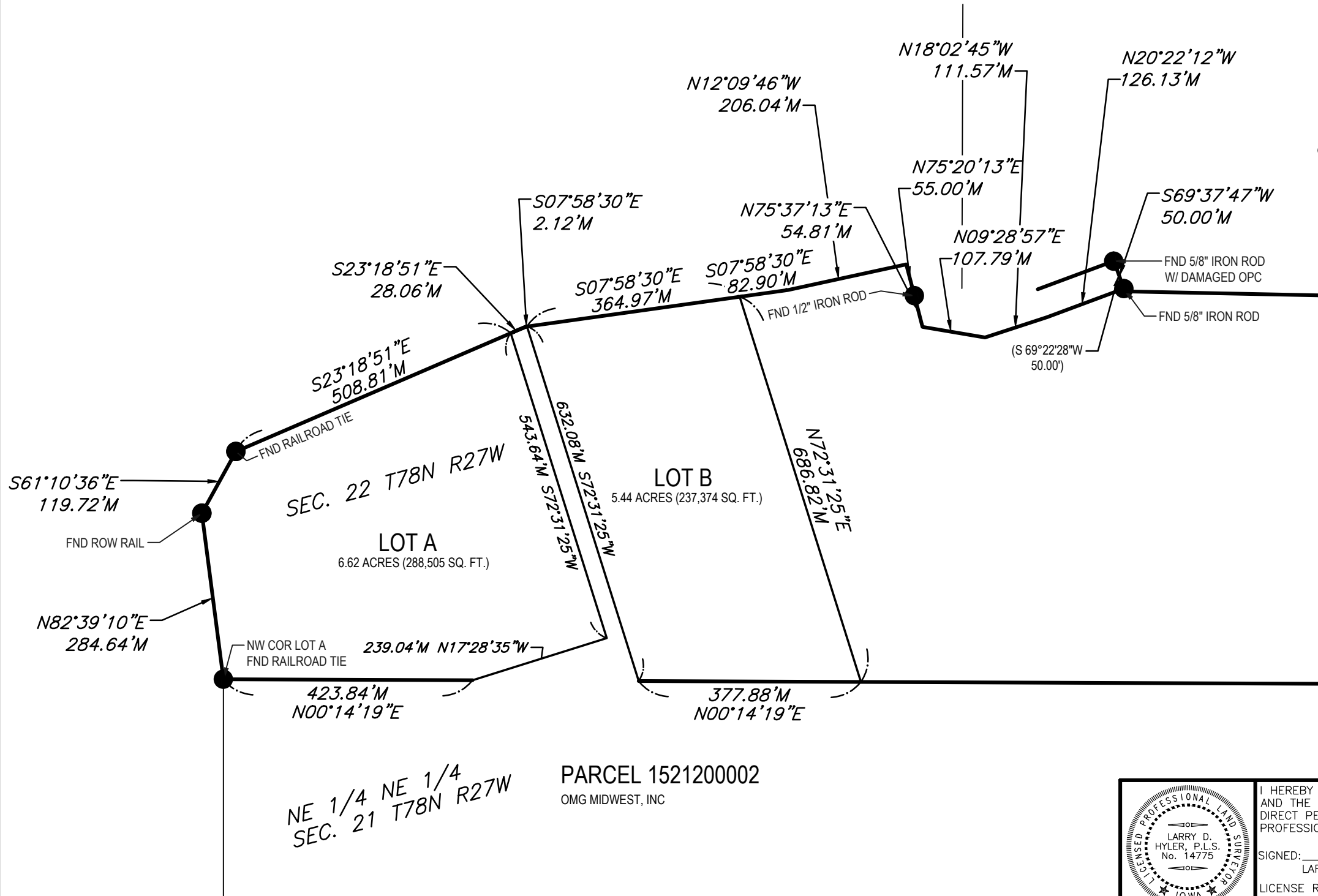
CC: Dustin Jones, Jesse Rognes, and John Kline

INDEX LEGEND
Location: NW1/4 Section 22-T78N-R27W Dallas County, Iowa
Requestor / Owner : OMG Midwest, Inc.
Surveyor: Larry D Hyler, PLS
Company: Bishop Engineering, 3501 104th St.
Urbandale, IA 50322 (Ph) 515-276-0467

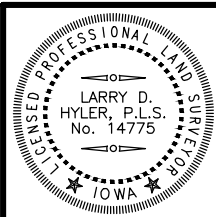


- LEGEND:
- PROPERTY CORNER - FOUND AS NOTED
 - PROPERTY CORNER- PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID # 14775 OR AS NOTED
 - ⊕ SECTION CORNER - FOUND AS NOTED
 - M MEASURED DISTANCE
 - () PREVIOUSLY RECORDED
 - ROW RIGHT OF WAY
 - POC POINT OF COMMENCEMENT
 - POB POINT OF BEGINNING
 - YPC YELLOW PLASTIC CAP

NOTE:
1. SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE OPINION. EASEMENTS MAY EXIST THAT ARE NOT SHOWN.
2. BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS, DATUM = NAD 83, IOWA SOUTH



FIELD WORK COMPLETED ON: 07-15-2021



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: _____ DATE: _____
LARRY D. HYLER, P.L.S. 14775

LICENSE RENEWAL DATE: DEC. 31, 2022 1 OF 1
PAGES OR SHEETS COVERED BY THIS SEAL: _____

Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying Established 1959

PARCEL 1522100011
DALLAS COUNTY

PLAT OF SURVEY

REFERENCE NUMBER:

DRAWN BY:
MDH

PROJECT NUMBER:

SHEET NUMBER:
1 OF 1

VAN METER LIBERTY READY MIX SITE PLAN

SHEET INDEX:

- C0.1 COVER SHEET
- C0.2 SITE SURVEY
- C1.1 DEMO PLAN
- C1.2 DEMO PLAN
- C2.1 LAYOUT PLAN
- C2.2 LAYOUT PLAN
- C3.1 GRADING PLAN
- C3.2 GRADING PLAN
- C4.1 UTILITY PLAN
- C4.2 UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C6.1 DETAILS SHEET
- C7.1 SWPPP

PROPERTY DESCRIPTION:

(WARRANTY DEED BOOK 2019, PAGE 659)
THE NORTHWEST QUARTER NORTHWEST QUARTER (NW 1/4 NW 1/4) LYING WEST OF COUNTY ROAD R-16 AND THE NORTH 7 1/2 ACRES OF THE NORTHWEST QUARTER SOUTHWEST QUARTER NORTHWEST QUARTER (NW 1/4 SW 1/4 NW 1/4) OF SECTION TWENTY-TWO (22); AND THE NORTHEAST QUARTER OF SECTION TWENTY-ONE (21), EXCEPT THAT PART OF THE NORTHWEST QUARTER NORTHEAST QUARTER (NW 1/4 NE 1/4) LYING NORTH OF I-80, AND EXCEPT THE EAST 7 ACRES OF THE SOUTHEAST QUARTER NORTHEAST QUARTER (SE 1/4 NE 1/4) AND EXCEPT THAT PORTION OF THE NORTHEAST QUARTER (NE 1/4) LYING SOUTH AND WEST OF THE CENTERLINE OF THE EXISTING ROAD WHICH BISECTS THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER (NE 1/4), AND EXCEPT THE RIGHT-OF-WAY OF THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD CO., ALL IN TOWNSHIP SEVENTY- EIGHT (78) NORTH, RANGE TWENTY-SEVEN (27) WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA

ADDRESS:

NO ASSIGNED ADDRESS AT THIS POINT

OWNER:

OMG MIDWEST, INC.
2401 SE TONES DRIVE
ANKENY, IOWA 50021

PREPARED FOR:

LIBERTY HOLDINGS, INC.
CONTACT: JEFF TUCKER
PO BOX 556
JOHNSTON, IOWA 50131
PH: (515)-208-7952

ZONING:

INFORMATION OBTAINED FROM:
DALLAS COUNTY ASSESSOR PAGE
ZONING: COMMERCIAL

PARKING REQUIREMENTS:

PARKING PROVIDED = 14 SPACES (INCL 1 ADA)

IMPERVIOUS SURFACE:

EX IMPERVIOUS = 0 S.F
PROPOSED IMPERVIOUS = 213,017 S.F (4.89 ACRES)

BENCHMARK:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = CITY DATUM OR NAVD88, GEOID 12A)

POINT # 9000

NORTHING = 563259.27
EASTING = 1516608.73
ELEVATION = 905.75
DESCRIPTION: RED PLASTIC CAP

POINT # 9001

NORTHING = 563144.70
EASTING = 1516614.14
ELEVATION = 900.26
DESCRIPTION: RED PLASTIC CAP

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF VAN METER MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF VAN METER.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF VAN METER STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A.D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (DAVID BENTZ AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
- MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISION OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
- WATERMAINS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF VAN METER.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF VAN METER WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.

UTILITY CONFLICT NOTES:

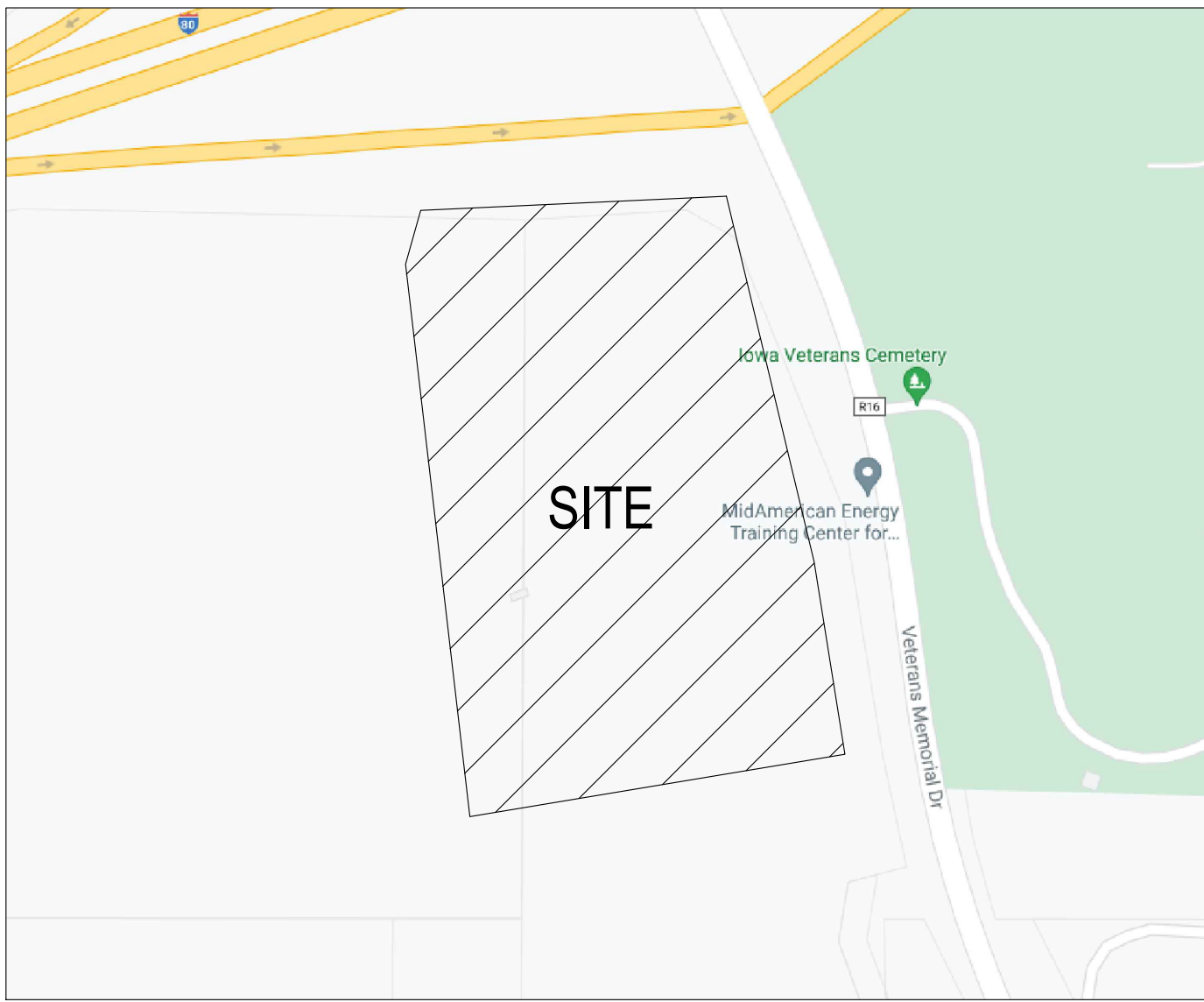
- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

WETLAND NOTES:

- BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SURVEY NOTES:

- SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON XXXXXX. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.



VICINITY MAP
SCALE: 1" = 1,000'

LEGEND:

- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- OE — OVERHEAD ELECTRIC
- TELE — TELEPHONE LINE
- F/O — FIBER OPTIC
- CATV — CABLE TV

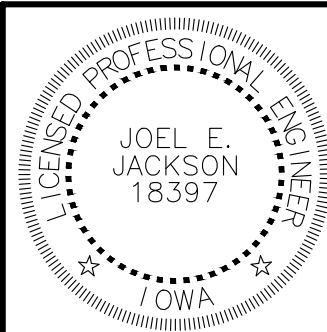
- Ⓢ STORM MANHOLE
- Ⓜ CURB INTAKE
- Ⓢ SURFACE INTAKE
- Ⓜ FLARED END SECTION
- Ⓢ SANITARY MANHOLE
- Ⓢ CLEANOUT
- Ⓢ FIRE HYDRANT
- Ⓢ SPRINKLER
- Ⓢ IRRIGATION CONTROL VALVE
- Ⓢ WATER MANHOLE
- Ⓢ WELL
- Ⓢ WATER VALVE
- Ⓢ WATER SHUT OFF
- Ⓢ YARD HYDRANT
- Ⓢ ELECTRIC MANHOLE
- Ⓢ ELECTRIC METER
- Ⓢ ELECTRIC RISER
- Ⓢ ELECTRIC VAULT
- Ⓢ POWER POLE
- Ⓢ TRANSFORMER POLE
- Ⓢ LIGHT POLE
- Ⓢ ELECTRIC JUNCTION BOX
- Ⓢ ELECTRIC PANEL
- Ⓢ TRANSFORMER
- Ⓢ GROUND LIGHT
- Ⓢ GUY WIRE
- Ⓢ ELECTRIC HANDHOLE
- Ⓢ GAS METER
- Ⓢ GAS VALVE
- Ⓢ AIR CONDITIONING UNIT
- Ⓢ TELEPHONE RISER
- Ⓢ TELEPHONE VAULT
- Ⓢ TELEPHONE MANHOLE
- Ⓢ TRAFFIC SIGNAL MANHOLE
- Ⓢ FIBER OPTIC MANHOLE
- Ⓢ FIBER OPTIC RISER
- Ⓢ FIBER OPTIC VAULT
- Ⓢ CABLE TV RISER
- Ⓢ SIGN
- BOLLARD
- ⑦ DENOTES NUMBER OF PARKING STALLS
- PROPERTY CORNER - FOUND AS NOTED
- PROPERTY CORNER- PLACED AS NOTED
- ⊙ SECTION CORNER - FOUND AS NOTED

ABBREVIATIONS:

- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- D DEEDED DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRAC FRACTIONAL
- M MEASURED DISTANCE
- MH MANHOLE
- OPC ORANGE PLASTIC CAP
- P PLATTED DISTANCE
- PG PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRA PREVIOUSLY RECORDED AS
- PUE PUBLIC UTILITY EASEMENT
- ROW RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FEET
- SAN SANITARY
- TYP TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST

UTILITY MAPS PROVIDED BY:

- ELECTRIC (MIDAM / 515.252.6632)
- FIBER OPTIC (CENTURYLINK (LUMEN) / 918.547.0147)
- WATER (XENIA RURAL WATER DISTRICT / 515.676.2117)



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: JOEL E. JACKSON, P.E. 18397 DATE: _____
LICENSE RENEWAL DATE: DEC. 31, 2022
PAGES OR SHEETS COVERED BY THIS SEAL: C0.1 - C7.1

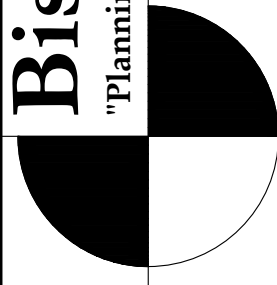


UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY. EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

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Bishop Engineering
"Planning Your Successful Development"



3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217

Civil Engineering & Land Surveying Established 1959

LIBERTY READY MIX
VAN METER, IOWA

COVER SHEET

REFERENCE NUMBER:

DRAWN BY:

CHECKED BY:

REVISION DATE:

PROJECT NUMBER:

210215

SHEET NUMBER:

C0.1

LIBERTY READY MIX
SITE SURVEY

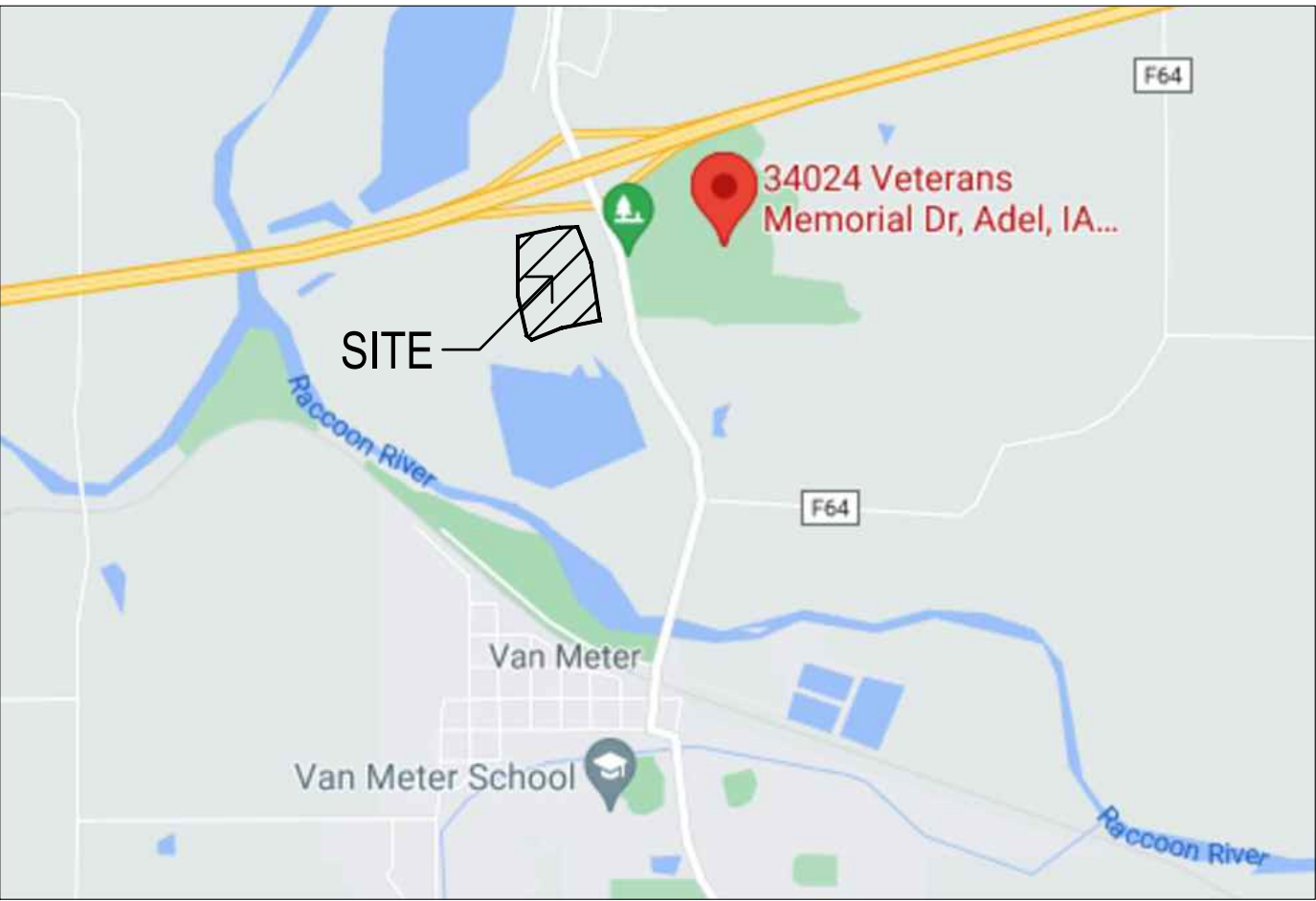
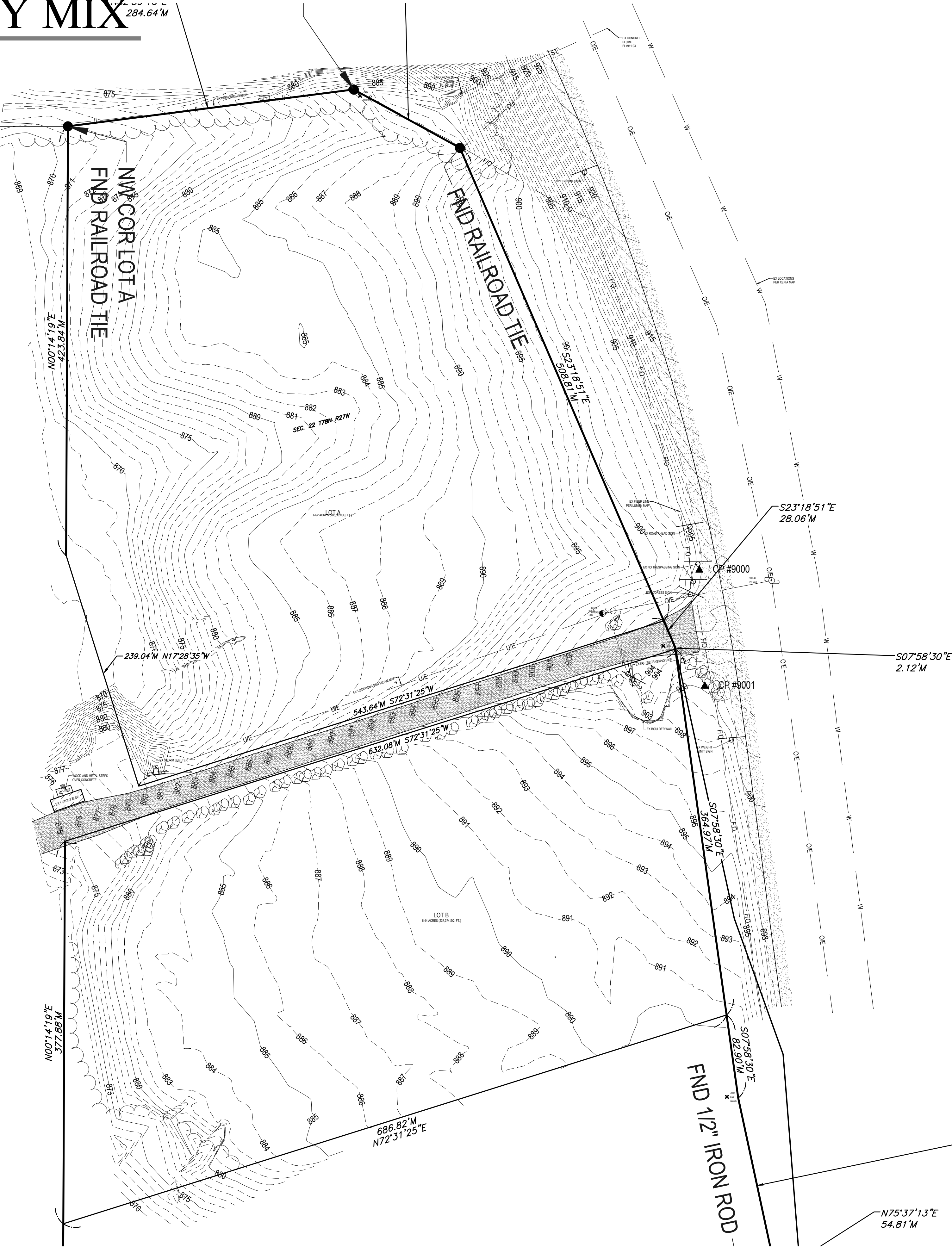
OMG MIDWEST, INC

UTILITY MAPS PROVIDED BY:
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PROPERTY DESCRIPTION:
(WARRANTY DEED BOOK 2019, PAGE 659)
THE NORTHWEST QUARTER NORTHWEST QUARTER (NW 1/4 NW 1/4) LYING WEST OF COUNTY ROAD R-16 AND THE NORTH 7 1/2 ACRES OF THE NORTHWEST QUARTER SOUTHWEST QUARTER NORTHWEST QUARTER (NW 1/4 SW 1/4 NW 1/4) OF SECTION TWENTY-TWO (22); AND THE NORTHEAST QUARTER OF SECTION TWENTY-ONE (21), EXCEPT THAT PART OF THE NORTHWEST QUARTER NORTHEAST QUARTER (NW 1/4 NE 1/4) LYING NORTH OF L&O, AND EXCEPT THE EAST 7 ACRES OF THE SOUTHEAST QUARTER NORTHEAST QUARTER (SE 1/4 NE 1/4) AND EXCEPT THAT PORTION OF THE NORTHEAST QUARTER (NE 1/4) LYING SOUTH AND WEST OF THE CENTERLINE OF THE EXISTING ROAD WHICH BISECTS THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER (NE 1/4), AND EXCEPT THE RIGHT-OF-WAY OF THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD CO., ALL IN TOWNSHIP SEVENTY-EIGHT (78) NORTH, RANGE TWENTY-SEVEN (27) WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA

OWNER:
OMG MIDWEST, INC.
2401 SE TONES DRIVE
ANKENY, IOWA 50021

PREPARED FOR:
LIBERTY HOLDINGS, INC.
PO BOX 556
JOHNSTON, IOWA 50131
515-208-7952

ZONING:
INFORMATION OBTAINED FROM:
DALLAS COUNTY ASSESSOR PAGE
ZONING: COMMERCIAL

FOR AN OFFICIAL ZONING REPORT PLEASE CALL
DALLAS COUNTY AT 515-993-5819

SITE CONTROL AND BENCHMARKS:
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS DATUM =
NAD 83, IOWA SOUTH
BENCHMARK DATUM = CITY DATUM OR NAVD88, GEOID 12A)

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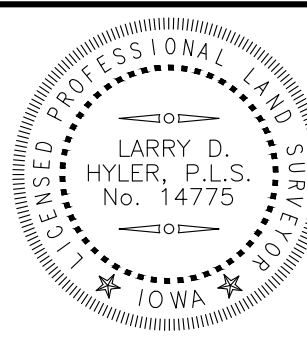
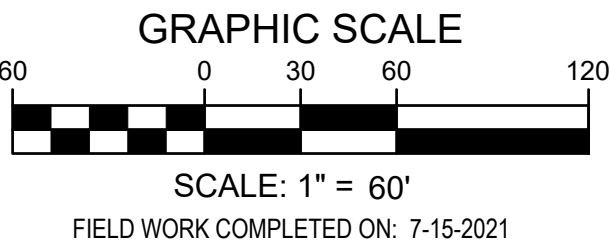
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- CATV CABLE TV
- SM STORM MANHOLE
- CI CURB INTAKE
- SI SURFACE INTAKE
- FE FLARED END SECTION
- SM SANITARY MANHOLE
- CN CLEANOUT
- FD FIRE HYDRANT
- SP SPRINKLER
- ICV IRRIGATION CONTROL VALVE
- WM WATER MANHOLE
- W WELL
- WV WATER VALVE
- WSO WATER SHUT OFF
- YD YARD HYDRANT
- EM ELECTRIC MANHOLE
- EM ELECTRIC METER
- ER ELECTRIC RISER
- EV ELECTRIC VAULT
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- TPP TRANSFORMER POLE
- LP LIGHT POLE
- EJC ELECTRIC JUNCTION BOX
- EP ELECTRIC PANEL
- TR TRANSFORMER
- GL GROUND LIGHT
- GW GUY WIRE
- EHC ELECTRIC HANDHOLE
- GM GAS METER
- GV GAS VALVE
- ACU AIR CONDITIONING UNIT
- TR TELEPHONE RISER
- TV TELEPHONE VAULT
- TM TELEPHONE MANHOLE
- TSM TRAFFIC SIGNAL MANHOLE
- FOM FIBER OPTIC MANHOLE
- FOR FIBER OPTIC RISER
- FIV FIBER OPTIC VAULT
- CR CABLE TV RISER
- S SIGN
- B BOLLARDS
- P DENOTES NUMBER OF PARKING STALLS
- PC PROPERTY CORNER - FOUND AS NOTED
- POC PROPERTY CORNER- PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID # 14775 OR AS NOTED
- SC SECTION CORNER - FOUND AS NOTED
- SP SITE CONTROL POINT - MONUMENT AS NOTED



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: LARRY D. HYLER, P.L.S. 14775 DATE: DEC. 31, 2022
LICENSE RENEWAL DATE: DEC. 31, 2022
PAGES OR SHEETS COVERED BY THIS SEAL: C0.1

Bishop Engineering
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3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying Established 1959

LIBERTY READY MIX
DALLAS COUNTY, IOWA

SITE SURVEY

REFERENCE NUMBER:

DRAWN BY:
MDH

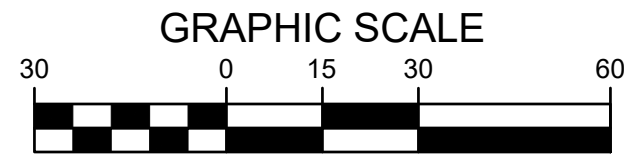
CHECKED BY:

REVISION DATE:

PROJECT NUMBER:
210215

SHEET NUMBER:

C0.1



DEMO NOTES:

1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.

REFERENCE NUMBER:
DRAWN BY:
CHECKED BY:
REVISION DATE:
PROJECT NUMBER: 210215
SHEET NUMBER: C1.1

"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825

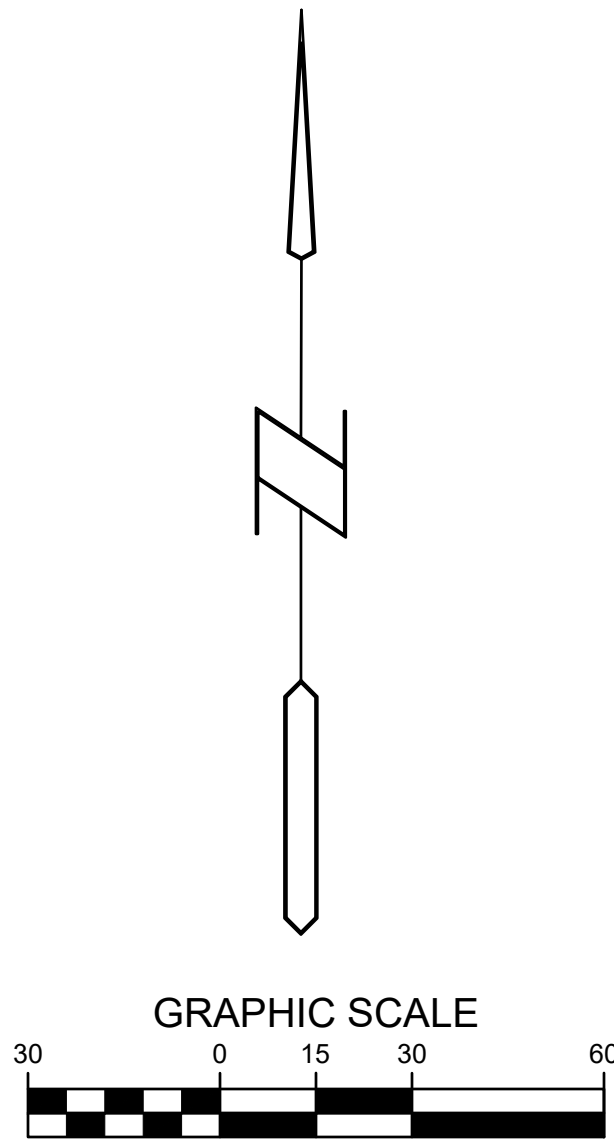
Civil Engineering & Land Surveying **Established 1959**
DES MOINES, IOWA 50322-3629
Phone: (515)276-0467 Fax: (515)276-0217

Established 1959

Civil Engineering & Land Surveying



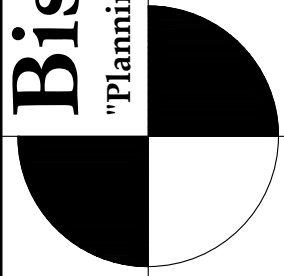
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LIBERTY READY MIX
VAN METER, IOWA

REFERENCE NUMBER:
DRAWN BY:
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REVISION DATE:
PROJECT NUMBER: 210215
SHEET NUMBER: C1.2

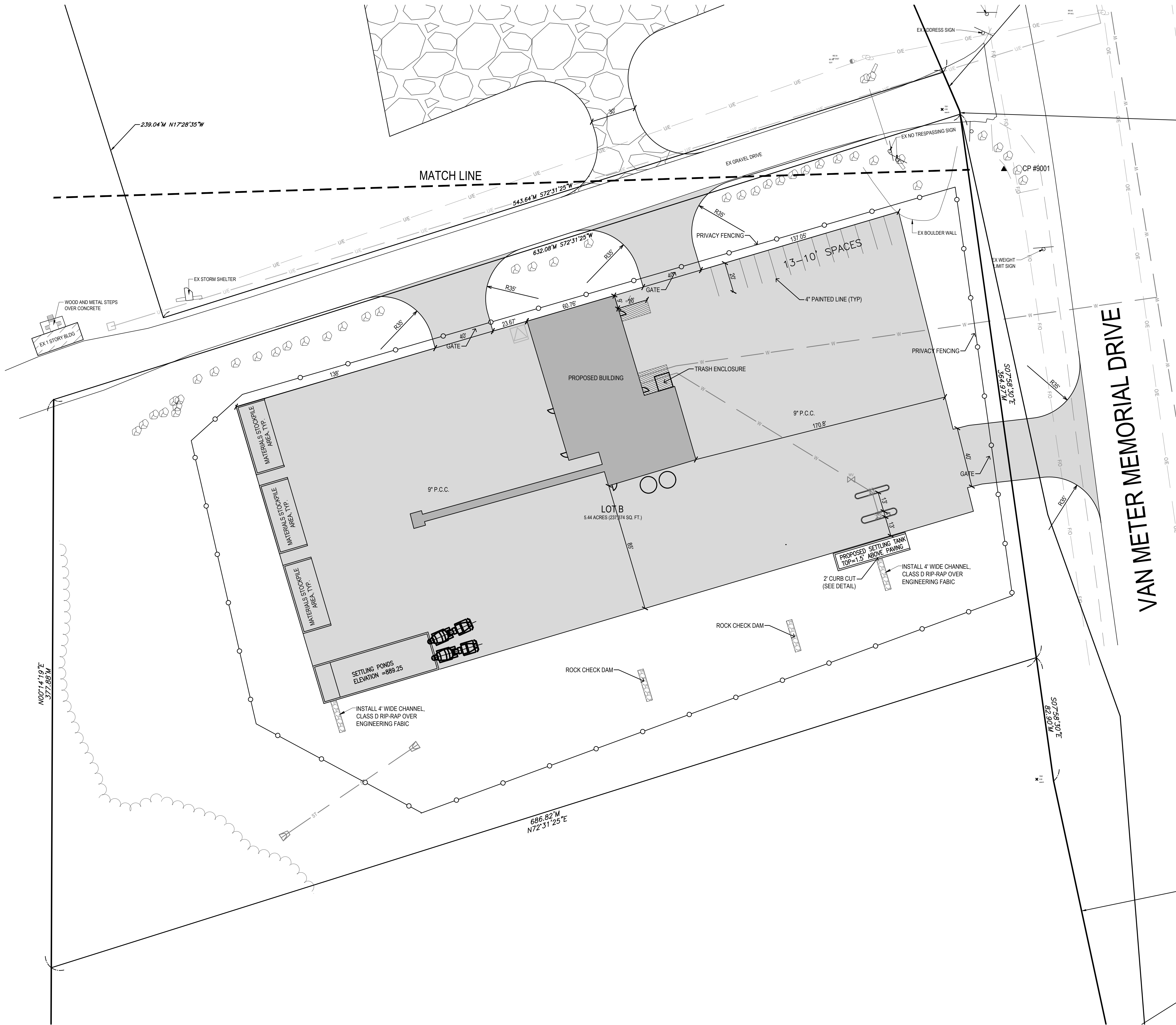
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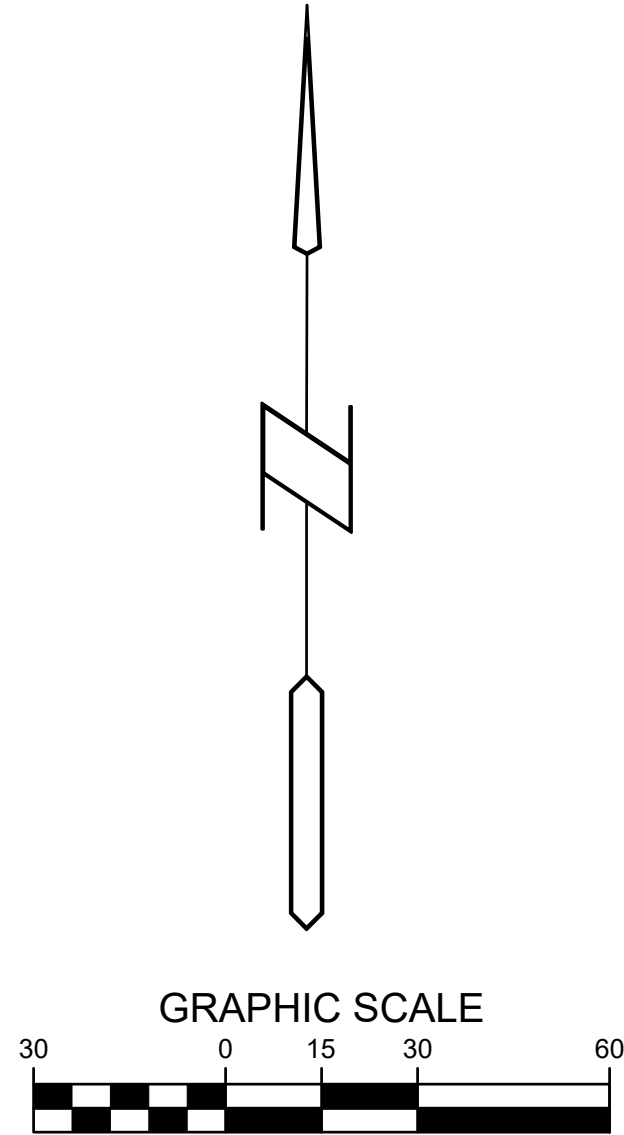
3501 104th Street
Des Moines, Iowa 50322-3825
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Civil Engineering & Land Surveying Established 1959

DEMO PLAN



GENERAL NOTES:
1. XXXXXX
2. XXXXXX
3. XXXXXX



LIBERTY READY MIX
VAN METER, IOWA

LAYOUT PLAN

REFERENCE NUMBER:	
DRAWN BY:	
CHECKED BY:	
REVISION DATE:	
PROJECT NUMBER:	210215
SHEET NUMBER:	C2.1

Bishop Engineering

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Des Moines, Iowa 50322-3825

Phone: (515)276-0467 Fax: (515)276-0217

Civil Engineering & Land Surveying

Established 1959



GENERAL NOTES:
1. XXXXXX
2. XXXXXX
3. XXXXXX

LIBERTY READY MIX
VAN METER, IOWA

REFERENCE NUMBER:

DRAWN BY:

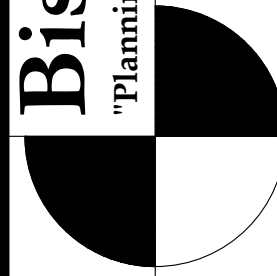
CHECKED BY:

REVISION DATE:

PROJECT NUMBER:
210215

SHEET NUMBER:
C2.2

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LAYOUT PLAN



- TOPSOIL NOTES:
1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
 2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
 3. **TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.**
 4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH; FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS, REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

GRADING LEGEND:

EXISTING CONTOUR	---	150---
PROPOSED CONTOUR	---	150---
FINISHED GROUND ELEVATION	●	150.50
TOP OF CURB ELEVATION	●	150.50T/C
GUTTER ELEVATION	●	150.50G
TOP OF WALL ELEVATION	●	150.50T/W
BOTTOM OF WALL ELEVATION	●	150.50B/W
EDGE OF WALK ELEVATION	●	150.50E/W
TOP OF STAIR ELEVATION	●	150.50T/S
BOTTOM OF STAIR ELEVATION	●	150.50B/S

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

GRAPHIC SCALE

30 0 15 30 60

LIBERTY READY MIX
VAN METER, IOWA

REFERENCE NUMBER:

DRAWN BY:

CHECKED BY:

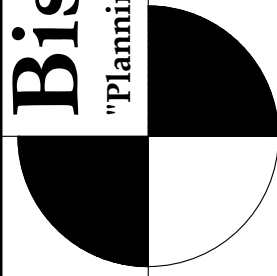
REVISION DATE:

PROJECT NUMBER:
210215

SHEET NUMBER:

C3.1

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GRADING PLAN



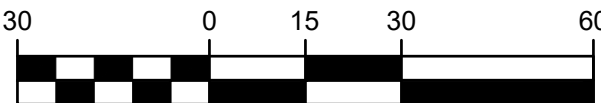
- TOPSOIL NOTES:
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 2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
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 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

GRADING LEGEND:

- | | | |
|---------------------------|-----|-----------|
| EXISTING CONTOUR | --- | 150 |
| PROPOSED CONTOUR | --- | 150 |
| FINISHED GROUND ELEVATION | ● | 150.50 |
| TOP OF CURB ELEVATION | ● | 150.50T/C |
| GUTTER ELEVATION | ● | 150.50G |
| TOP OF WALL ELEVATION | ● | 150.50T/W |
| BOTTOM OF WALL ELEVATION | ● | 150.50B/W |
| EDGE OF WALK ELEVATION | ● | 150.50E/W |
| TOP OF STAIR ELEVATION | ● | 150.50T/S |
| BOTTOM OF STAIR ELEVATION | ● | 150.50B/S |

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

GRAPHIC SCALE



LIBERTY READY MIX
VAN METER, IOWA

GRADING PLAN

REFERENCE NUMBER:

DRAWN BY:

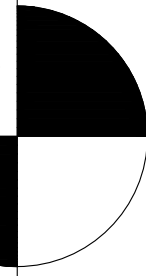
CHECKED BY:

REVISION DATE:

PROJECT NUMBER:
210215

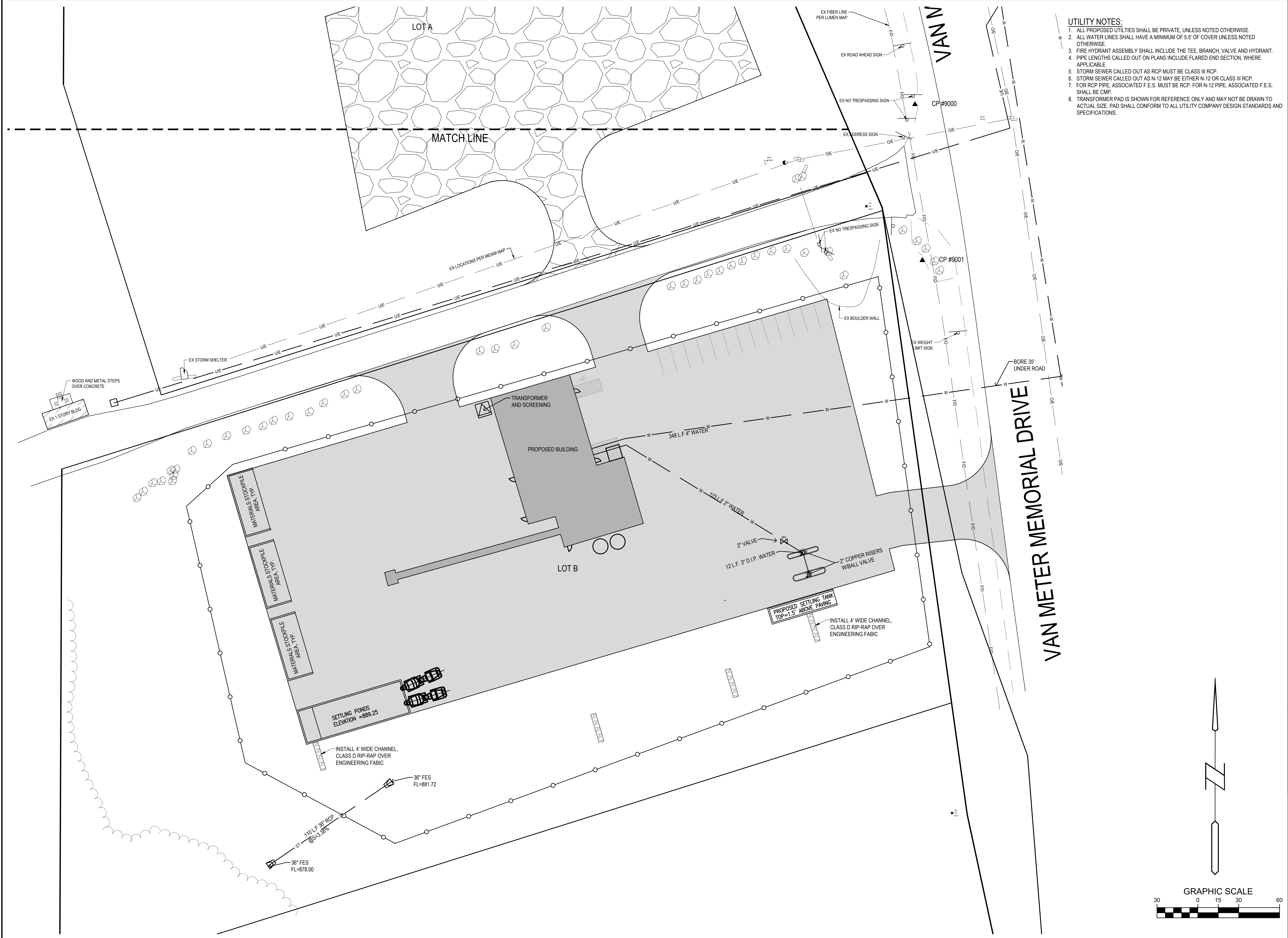
SHEET NUMBER:
C3.2

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REVISION DATE:

PROJECT NUMBER:

210215

SHEET NUMBER:

C4.1

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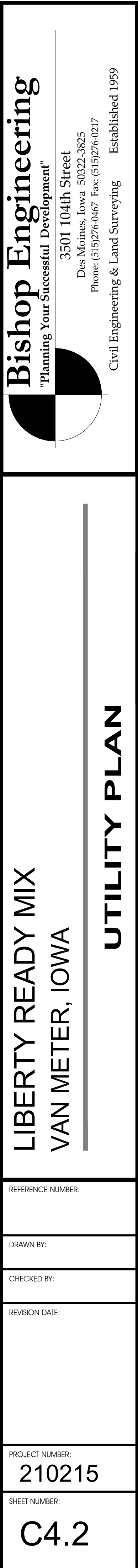
Des Moines, Iowa 50322-3825

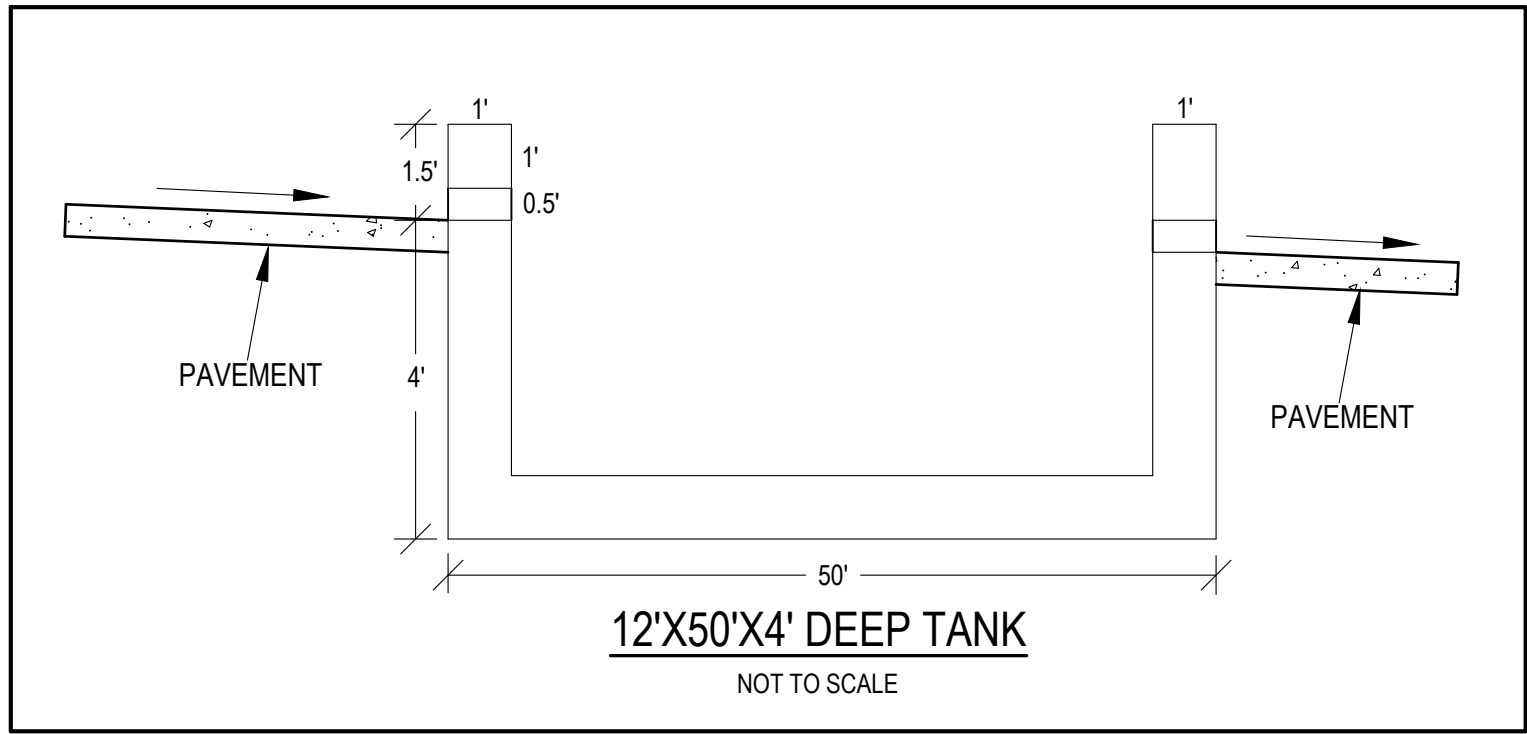
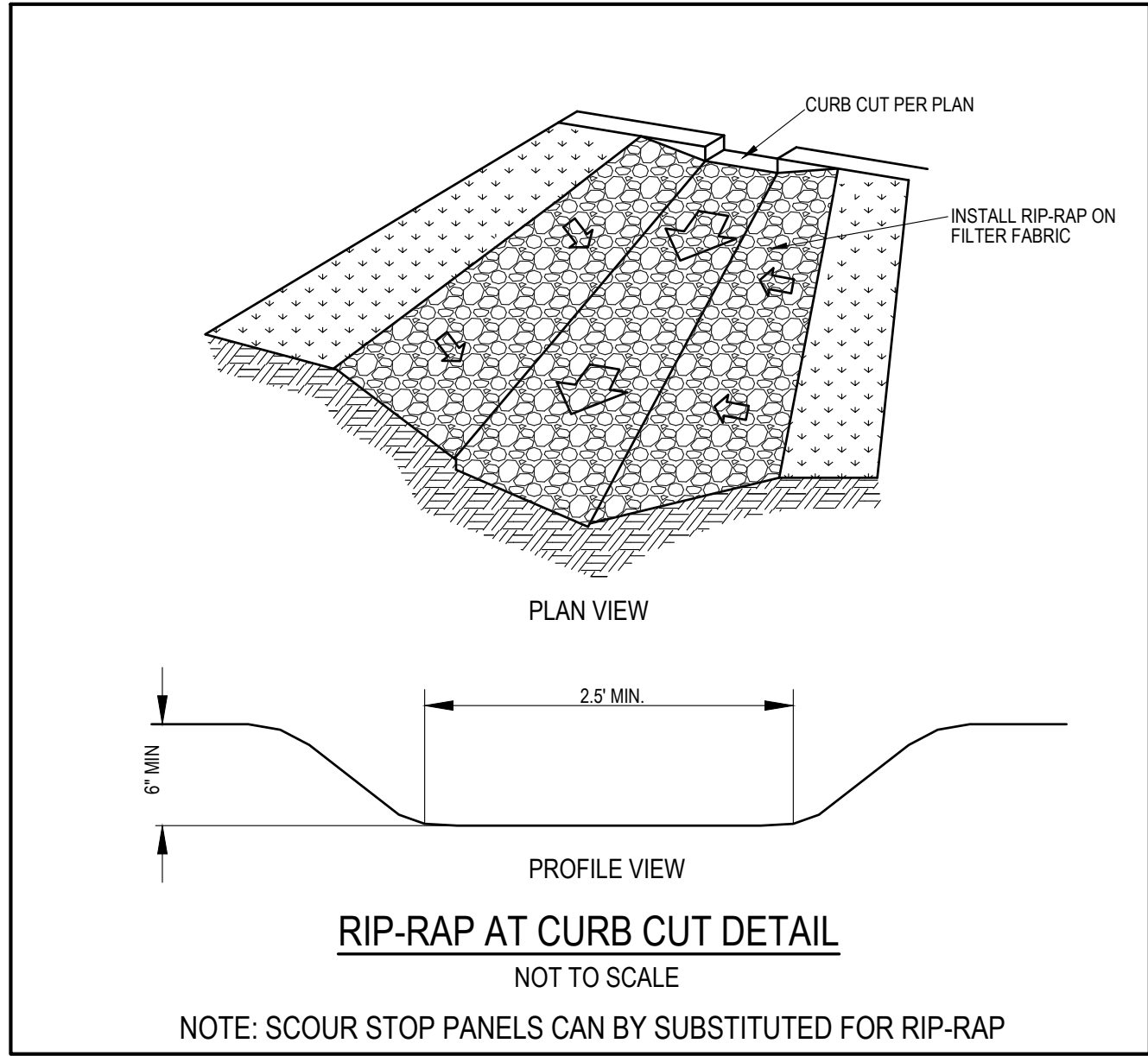
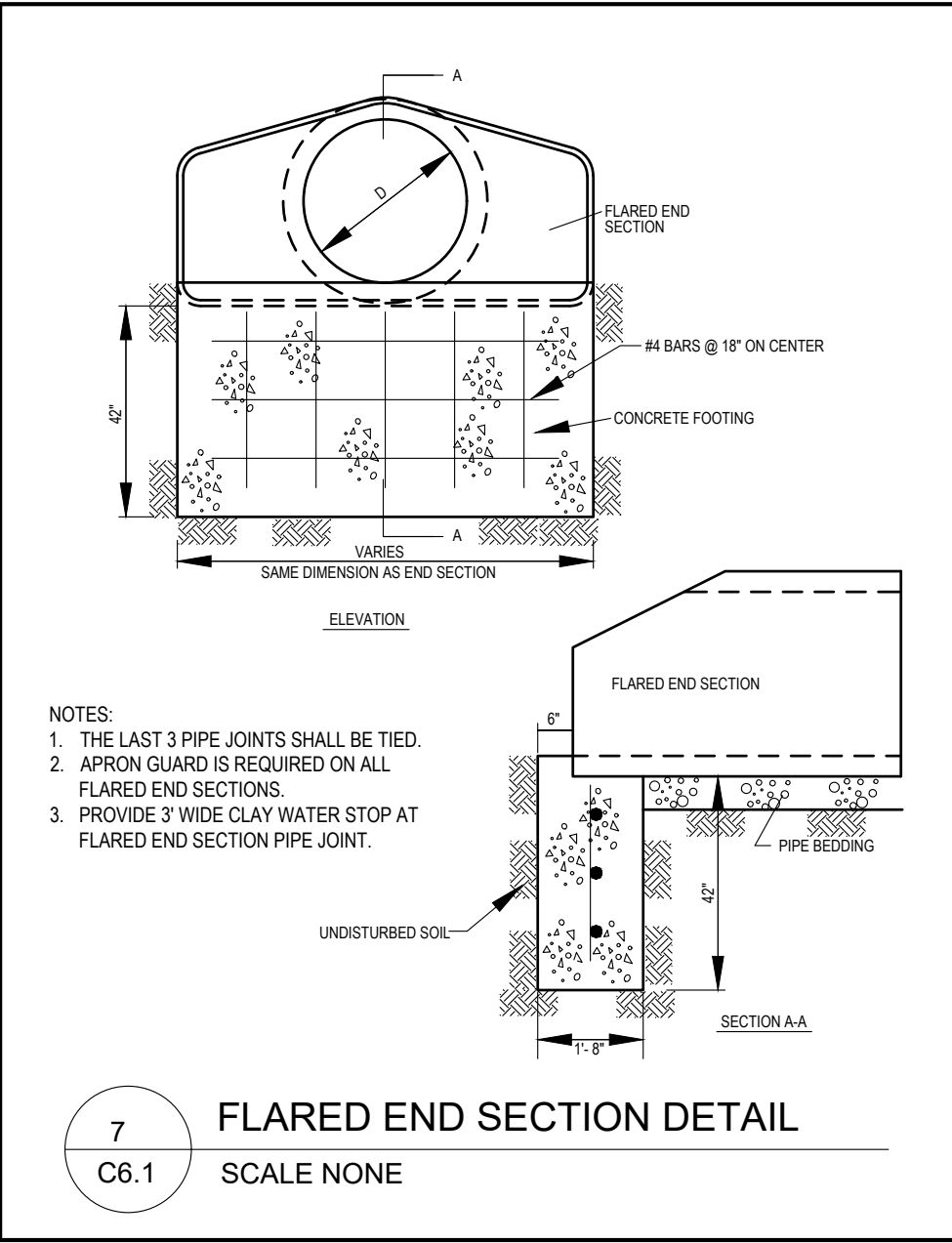
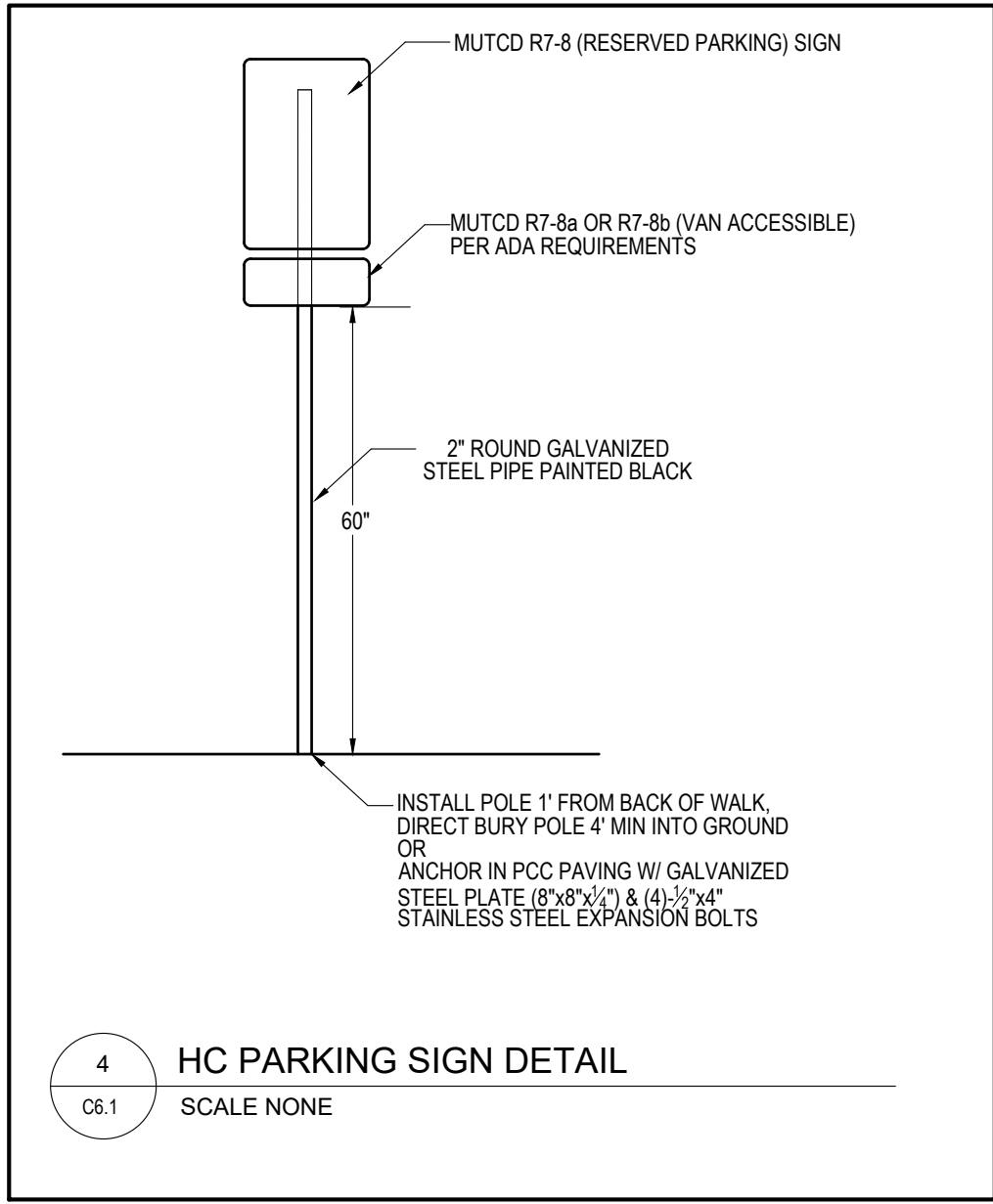
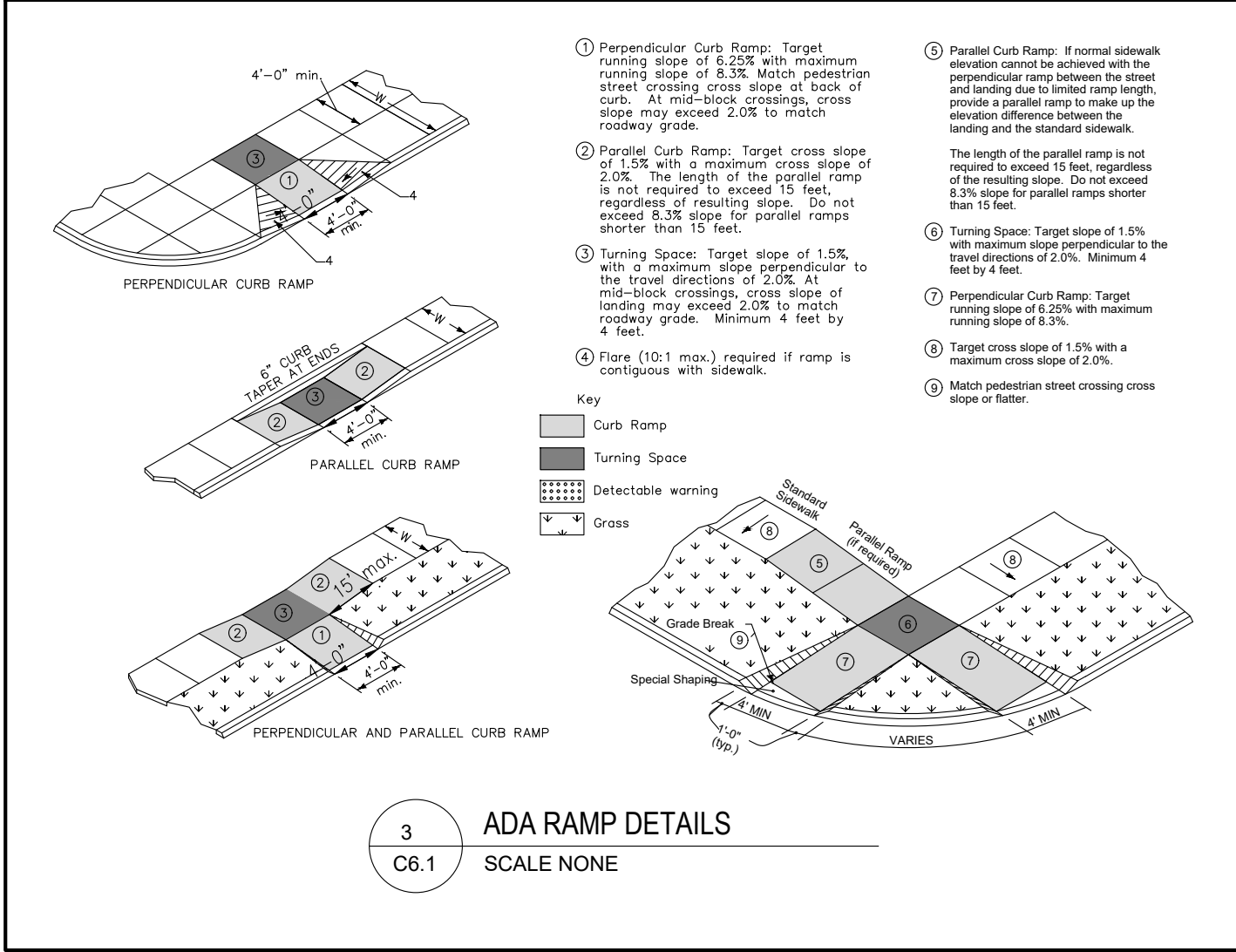
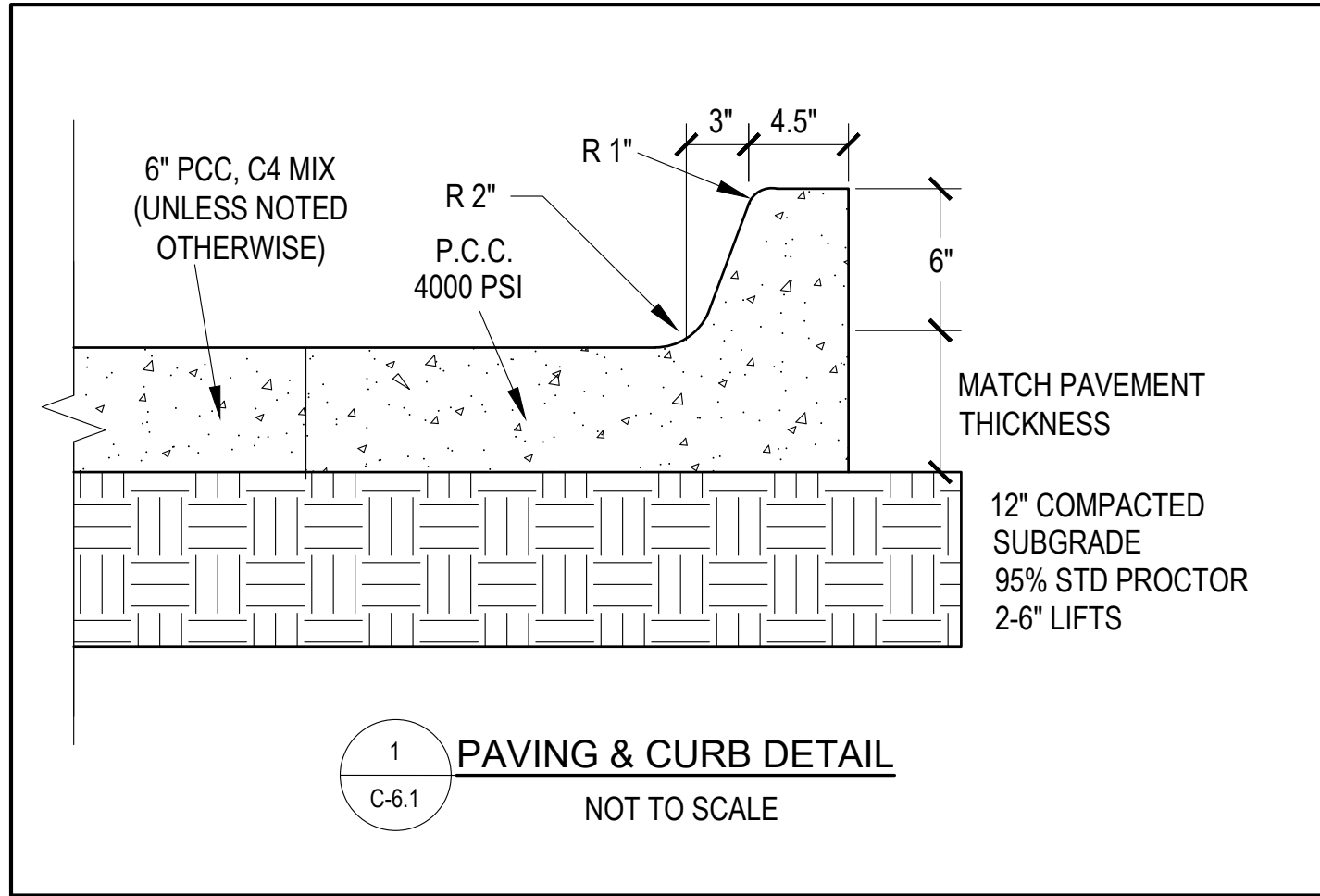
Phone: (515)276-0467 Fax: (515)276-0217

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UTILITY PLAN





LIBERTY READY MIX
VAN METER, IOWA

DETAILS SHEET

REFERENCE NUMBER:

DRAWN BY:

CHECKED BY:

REVISION DATE:

PROJECT NUMBER:
210215

SHEET NUMBER:
C6.1

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STORM WATER POLLUTION PREVENTION PLAN

PROPERTY DESCRIPTION:

(WARRANTY DEED BOOK 2019, PAGE 659)
THE NORTHWEST QUARTER NORTHWEST QUARTER (NW 1/4 NW 1/4) LYING WEST OF COUNTY ROAD R-16 AND THE NORTH 7 1/2 ACRES OF THE NORTHWEST QUARTER
SOUTHWEST QUARTER NORTHWEST QUARTER (NW 1/4 SW 1/4 NW 1/4) OF SECTION TWENTY-TWO (22); AND THE NORTHEAST QUARTER OF SECTION TWENTY-ONE (21).
EXCEPT THAT PART OF THE NORTHWEST QUARTER NORTHEAST QUARTER (NW 1/4 NE 1/4) LYING NORTH OF I-80, AND EXCEPT THE EAST 7 ACRES OF THE SOUTHEAST QUARTER NORTHEAST QUARTER (SE 1/4 NE 1/4) AND EXCEPT THAT PORTION OF THE NORTHEAST QUARTER (NE 1/4) LYING SOUTH AND WEST OF THE CENTERLINE OF THE EXISTING ROAD WHICH BISECTS THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER (NE 1/4), AND EXCEPT THE RIGHT-OF-WAY OF THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD CO., ALL IN TOWNSHIP SEVENTY- EIGHT (78) NORTH, RANGE TWENTY-SEVEN (27) WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA

ADDRESS:

NO ASSIGNED ADDRESS AT THIS POINT

OWNER:

OMG MIDWEST, INC.
2401 SE TONES DRIVE
ANKENY, IOWA 50021

PREPARED FOR:

LIBERTY HOLDINGS, INC.
CONTACT: JEFF TUCKER
PO BOX 556
JOHNSTON, IOWA 50131
PH: (515)-208-7952

SITE AREA:

DISTURBED AREA = 8.66 ACRES

BENCHMARK:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = CITY DATUM OR NAVD88, GEOID 12A)

POINT # 9000

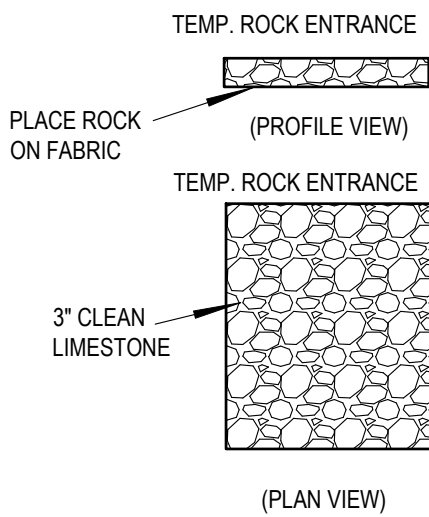
NORTHING = 563259.27
EASTING = 1516608.73
ELEVATION = 905.75
DESCRIPTION: RED PLASTIC CAP

POINT # 9001

NORTHING = 563144.70
EASTING = 1516614.14
ELEVATION = 900.26
DESCRIPTION: RED PLASTIC CAP

PARCEL 1521200002

STABILIZED ENTRANCE SHALL BE AT LEAST 50' LONG AND EXTEND TO THE PUBLIC ROADWAY.

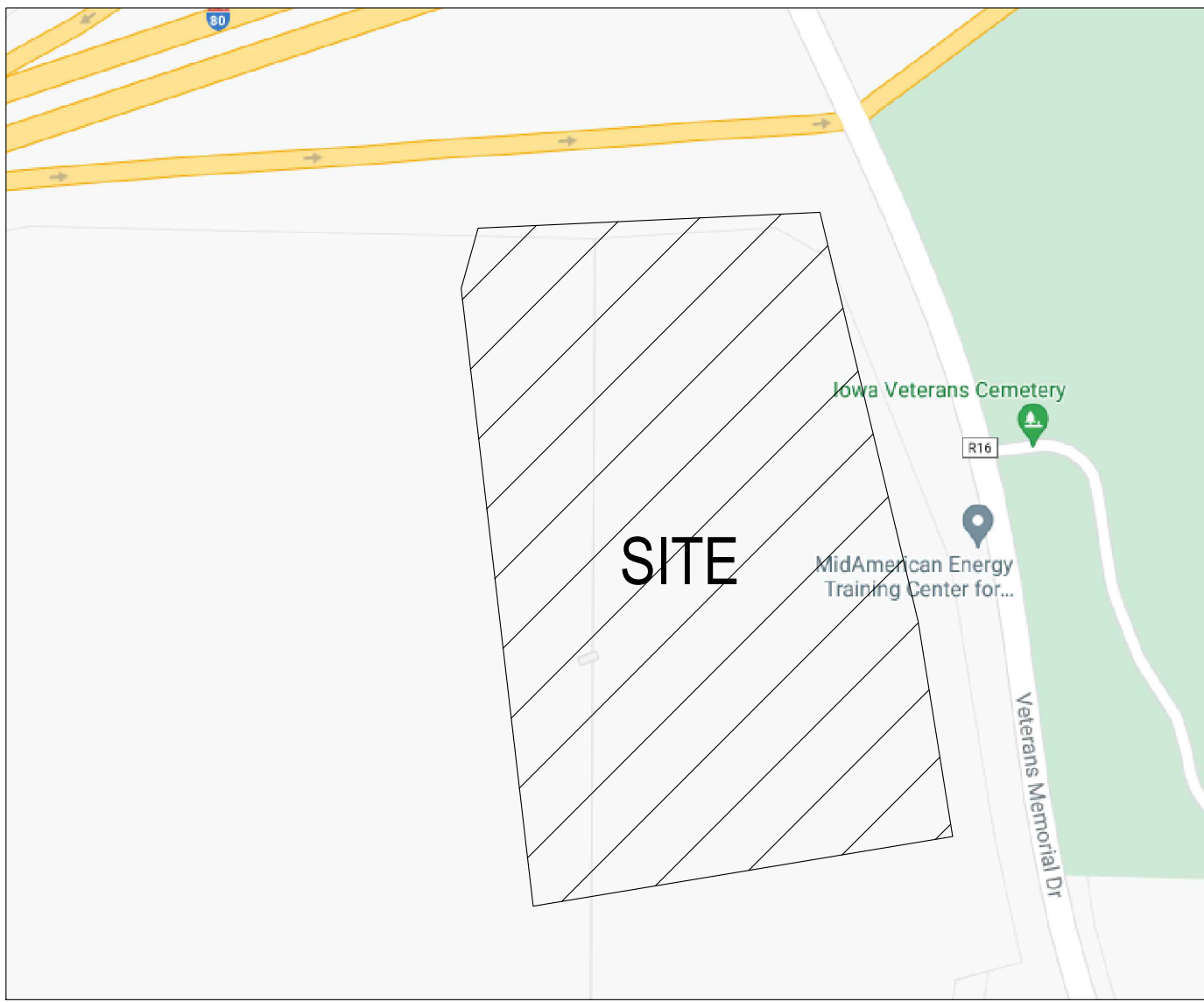


SITE ENTRANCE DETAIL
NOT TO SCALE



UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



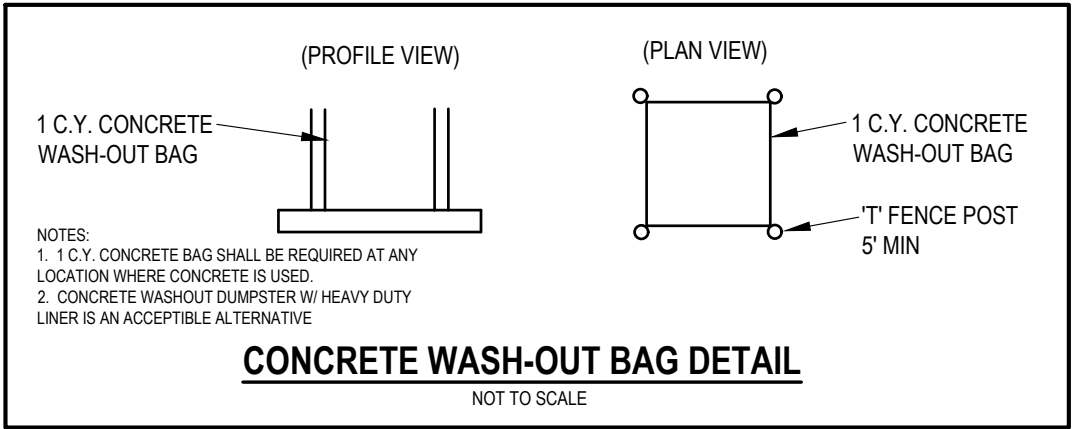
VICINITY MAP
SCALE: 1" = 1,000'

EROSION CONTROL NOTES:

- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
- SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
- INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
- OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES, SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

EROSION CONTROL REMOVAL NOTES:

- AFTER FINAL STABILIZATION HAS OCCURED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPS.

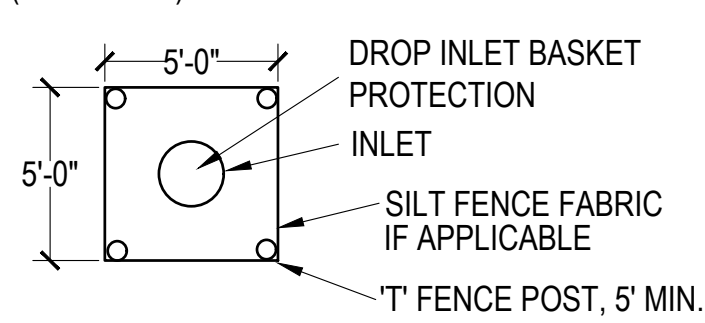


CONCRETE WASH-OUT BAG DETAIL
NOT TO SCALE

NOTES:

- SECURE TOP OF FABRIC TO POSTS, USING CABLE TIES OR WIRE.
- FABRIC TO BE BURIED 12", AND FOLDED ALONG BOTTOM.
- STEEL POSTS TO BE EMBEDDED 28".

(PLAN VIEW)

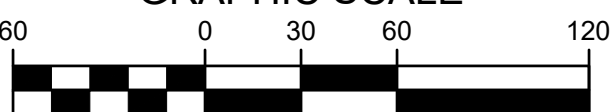


INLET PROTECTION DETAIL
NOT TO SCALE

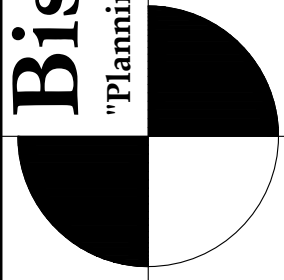
LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- SILT FENCE
- SANITARY SEWER
- STORM SEWER
- WATER LINE
- GAS LINE
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC
- TELEPHONE LINE
- FIBER OPTIC
- CABLE TV
- STORM MANHOLE
- CURB INTAKE
- SURFACE INTAKE
- FLARED END SECTION
- SANITARY MANHOLE
- CLEANOUT
- FIRE HYDRANT
- SPRINKLER
- IRRIGATION CONTROL VALVE
- WATER MANHOLE
- WELL
- WATER VALVE
- WATER SHUT OFF
- YARD HYDRANT
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC RISER
- ELECTRIC VAULT
- POWER POLE
- TRANSFORMER POLE
- LIGHT POLE
- ELECTRIC JUNCTION BOX
- ELECTRIC PANEL
- TRANSFORMER
- GROUND LIGHT
- GUY WIRE
- ELECTRIC HANDHOLE
- GAS METER
- GAS VALVE
- AIR CONDITIONING UNIT
- TELEPHONE RISER
- TELEPHONE VAULT
- TELEPHONE MANHOLE
- TRAFFIC SIGNAL MANHOLE
- FIBER OPTIC RISER
- FIBER OPTIC FAULT
- CABLE TV RISER
- SIGN

GRAPHIC SCALE



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LIBERTY READY MIX
VAN METER, IOWA

SWPPP

REFERENCE NUMBER:

DRAWN BY:

CHECKED BY:

REVISION DATE:

PROJECT NUMBER:

210215

SHEET NUMBER:

C7.1

CITY OF VAN METER, IOWA
URBAN RENEWAL PLAN AMENDMENT
VAN METER URBAN RENEWAL AREA

August, 2021

The Urban Renewal Plan (the “Plan”) for the Van Meter Urban Renewal Area (the “Urban Renewal Area”) is being amended for the purposes of adding certain real property to the Urban Renewal Area and identifying a new urban renewal project to be undertaken therein.

1) Addition of Property. The real property (the "Property") legally described on Exhibit A hereto includes the August, 2021 Addition to the Urban Renewal Area. With the adoption of this Amendment, the City will designate the August, 2021 Addition as an economic development area. The August, 2021 Addition will become subject to the provisions of the Plan for the Urban Renewal Area. It is anticipated that the City will adopt an ordinance providing for the division of property tax revenues, as set forth in Section 403.19 of the Code of Iowa, with respect to the Property.

2) Identification of Projects. By virtue of this amendment, the list of authorized urban renewal projects in the Plan is hereby amended to include the following project descriptions:

A.

Name of Project: Trindle Ridge, LLC Housing Development Project

Name of Urban Renewal Area: Van Meter Urban Renewal Area

Date of Council Approval of Project: August 9, 2021

Description of Project and Project Site: Trindle Ridge, LLC (the “Developer”) is undertaking the development of a residential subdivision (the “Housing Project”) situated on the Property (as described in Section 1 above), including the corresponding construction of public infrastructure improvements (the “Infrastructure Project”). The City will use tax increment financing to support the Developer’s construction of the Infrastructure Project on the Development Property. The addition of new residential housing in the City will enhance the quality of life in the City thereby resulting in commercial and residential growth in the City.

The costs incurred by the City in providing tax increment financing assistance to the Developer will include legal and administrative fees (the “Admin Fees”) in an amount not to exceed \$8,000.

Description of Public Infrastructure to be Constructed in Connection with the Project: The City will undertake the Housing Infrastructure Project (as described below) in connection with the Housing Project.

Description of Properties to be Acquired in Connection with the Project: It is not anticipated that the City will acquire real property in connection with the Housing Project.

Description of Use of TIF: The City intends to enter into a development agreement (the “Agreement”) with the Developer with respect to the Housing Project and the Street Improvements Project and to provide annual appropriation economic development payments (the “Payments”) to the Developer thereunder. The Payments, in an amount not to exceed \$600,000, will be funded with incremental property tax revenues to be derived from the Property. It is anticipated that the City’s total commitment of incremental property tax revenues with respect to the Housing Project and the Street Improvements Project, including the Payments, the Admin Fees, and the LMI Set Aside (as described below) will not exceed \$793,120.

LMI Set Aside: Pursuant to the provisions of Section 403.22 of the Code of Iowa, the City will provide low and moderate income family housing assistance in its area of operation in an amount not less than 30.52% of the incremental property tax revenues applied to the Housing Project and the Street Improvements Project.

B.

Name of Project: Housing Infrastructure Project

Name of Urban Renewal Area: Van Meter Urban Renewal Area

Date of Council Approval of Project: August 9, 2021

Description of Project and Project Site: The City will undertake the extension of a sanitary sewer main and the construction of certain street improvements (the “Housing Infrastructure Project”) to serve the Property (as described in Section 1 above). The completed Housing Infrastructure Project will have a direct, positive impact on increased and improved residential development in the Urban Renewal Area through the provision of enhanced public infrastructure in the City.

Description of Properties to be Acquired in Connection with the Project: The City will acquire such easement territory and rights-of-way as are necessary to successfully undertake the Housing Infrastructure Project.

Description of Use of TIF for the Project: It is anticipated that the City will pay for the Housing Infrastructure Project with borrowed funds and/or the proceeds of an internal advance of City funds on-hand. In any case, the City's obligations (the “Obligations”) will be repaid with incremental property tax revenues to be derived from the Urban Renewal Area. It is anticipated that the City's use of incremental property tax revenues for the Housing Infrastructure Project including the LMI Set Aside (as described below) will not exceed \$978,900, plus any interest expense incurred on the Obligations.

LMI Set Aside: Pursuant to the provisions of Section 403.22 of the Code of Iowa, the City will provide low and moderate income family housing assistance in its area of operation in an

amount not less than 30.52% of the incremental property tax revenues applied to the Housing Infrastructure Project.

3) Required Financial Information. The following information is provided in accordance with the requirements of Section 403.17 of the Code of Iowa:

1.	Constitutional debt limit of the City:	<u>\$4,396,547</u>	
2.	Outstanding general obligation debt of the City:	<u>\$</u>	
3.	Proposed debt to be incurred in under this		
	July, 2021 Amendment:	<u>\$ 600,000</u>	(Payments)
		<u>\$ 750,000</u>	(Sewer Main)
		<u>\$ 412,020</u>	(LMI Set Aside)
		<u>\$ 8,000</u>	(Admin Fees)
		<u>\$ 1,770,020</u>	(Total)

*It is anticipated that some or all of the debt incurred hereunder will be subject to annual appropriation by the City Council.

EXHIBIT A
Legal Description
Expanded Van Meter Urban Renewal Area
(July, 2021 Addition)

LOTS 3, 4, 5 AND 6, REPLAT OF TRAXLER SUBDIVISION AMENDED PLAT, AN OFFICIAL PLAT, DALLAS COUNTY, IOWA, CONTAINING 29.729 ACRES MORE OR LESS (INCLUDES 0.140 ACRES COUNTY ROAD RIGHT-OF-WAY).