

**Meetings**

Van Meter City Hall  
310 Mill Street, Van Meter, IA 50261

**Board Members**

**Dennis Carter**  
**Brian Anderson**  
**David Lyons**  
**Jarin Young**  
**Tony Doremus**

**City Staff**

Liz Faust, City Administrator  
Jess Drake, City Clerk  
Drew McCombs, Public Works Director  
Jason VanAusdall, Zoning Administrator  
Randy Johnson, City Engineer

Posted: Wednesday, May 28, 2025

**Board of Adjustment Agenda:**

- 1. Call to Order/Roll Call**
- 2. Approval of Agenda**
- 3. Approval of the Minutes from April 10, 2025**
- 4. PUBLIC HEARING**

Public Hearings are held during the Board of Adjustment's regular meetings. Those who wish to speak will be requested to provide their name and address for the record when called upon. The order of proceedings for each application will be as follows:

- a. City staff will summarize the issue and present their findings.
- b. The applicant will present testimony and evidence regarding their request.
- c. City staff will provide a summary of all written comments received prior to the hearing.
- d. Testimony may be heard from members of the audience who wish to speak in support of or in opposition to the request and will be limited to five (5) minutes per speaker
- e. The Board will give the applicant and city staff the opportunity to present concluding summaries and arguments.
- f. At the conclusion of all public testimony, the Board will close the public hearing.
- g. The Board will discuss the issues and evidence and come to a decision. The applicant may withdraw their application at any time prior to the decision of the Board of Adjustment.

**A. VARIANCE**

An application for a Variance has been received from LORI HAGEN, property owner of 409 Pleasant Street, Van Meter, IA 50261.

The property owner has submitted an application for Variance for the property located at 409 Pleasant Street, Van Meter, IA 50261. The property is located in the R-2 Zoning District as defined by the Van Meter Code of Ordinances, Chapter 165 Zoning Regulations. R-2 Zoning requires a minimum setback from the front property line of 35 feet. The property currently has a garage that sits on the property with a setback of approximately 11 feet and has submitted a building permit to replace the garage with a setback of approximately 20 feet.

- 5. Discussion and Consideration:** VARIANCE request as described in Agenda Item 4A

**6. PUBLIC HEARING**

**A. VARIANCE**

An application for a Variance has been received from DAN CORNELISON, property owner of 605 Elm Street, Van Meter, IA 50261.

The property owner has submitted an application for Variance to Section 165.04(f) for the property located at 605 Elm Street, Van Meter, IA 50261. The property is located in the R-2 Zoning District as defined by the Van Meter Code of Ordinances, Chapter 165 Zoning Regulations. The property owner submitted a building application to construct & install a detached garage with metal siding & roofing. The code reads "Materials used for the roofing and siding of the accessory building must be the same material as that used for the main residential building or dwelling."

- 7. Discussion and Consideration:** VARIANCE request as described in Agenda Item 6A

**8. Adjournment**

# Agenda Item #1

## Call to Order

### Roll Call:

*Carter* \_\_\_\_\_

*Anderson* \_\_\_\_\_

*Lyons* \_\_\_\_\_

*Young* \_\_\_\_\_

*Doremus* \_\_\_\_\_

### *Staff:*

# Agenda Item #2

## Approval of the Agenda

**City Clerk:** *Do I hear a motion to approve the agenda?*

**Board Member** \_\_\_\_\_: *So moved.*

**Board Member** \_\_\_\_\_: *Second.*

**City Clerk:** All in favor? \_\_\_\_\_ Not in favor? \_\_\_\_\_

# Agenda Item #3

## Approval of Minutes

**City Clerk:** *Do I hear a motion to approve the meeting minutes from April 10, 2025?*

**Board Member** \_\_\_\_\_: *So moved.*

**Board Member** \_\_\_\_\_: *Second.*

**City Clerk:** All in favor? \_\_\_\_\_ Not in favor? \_\_\_\_\_

# **PUBLIC MEETING**

**Governmental Body: Van Meter Board of Adjustment**

**Date of Meeting: Thursday, April 10, 2025**

**Time/Location of Meeting: 6:00pm – 310 Mill Street (City Hall)**

## **1. Call to Order/Roll Call**

The Van Meter Board of Adjustment Public Meeting was called to order at 6:00pm on Thursday, April 10, 2025 by City Clerk Drake. Board Members Present: Dennis Carter via phone, Brian Anderson, David Lyons and Tony Doremus. Staff Present: City Clerk Jess Drake and Building/Zoning Administrator Jason Van Ausdall. Public present: Abbey & Wes Duncan of Duncan Construction, Karen Johnson and Gary Wemer.

## **2. Approval of Agenda**

Lyons moved, supported by Doremus to approve the agenda.

Carter – YES; Anderson – YES; Lyons - YES; Young – ABSENT; Doremus – YES.

Motion carried.

## **3. Approval of the Minutes from December 19, 2024**

Doremus moved, supported by Anderson to approve the minutes from December 19, 2024 as presented.

Carter – YES; Anderson – YES; Lyons - YES; Young – ABSENT; Doremus – YES.

Motion carried.

## **4. Public Hearing**

Doremus moved, supported by Lyons, to open the public hearing.

Carter – YES; Anderson – YES; Lyons - YES; Young – ABSENT; Doremus – YES.

The public hearing was open as of 6:01pm.

### **A. VARIANCE REQUEST**

An application for a Variance has been received from DUNCAN CONSTRUCTION, the property owner of real estate located at 405 Main Street.

The property owner has submitted an application for a Variance for the property located at 405 Main Street, Van Meter, IA 50261 to allow for construction of a single family residential property on a lot that does not meet the minimum size requirements as defined within the City's R-2 Zoning District which prohibits any proposed newly constructed residence from compliance with front and side yard setbacks. R-2 Zoning requires a minimum lot area of eight thousand four hundred (8,400) sq ft for single family dwellings and minimum lot width of sixty-six (66) feet. Said property has a lot area of six thousand, eight hundred and sixty-four (6,864) feet and a lot width of fifty-two (52) feet and does not meet the minimum standards for building. The applicant is requesting a variance allowing construction on a lot that does not meet the minimum standards.

## **FOR THE RECORD**

Notice of Public Hearing was published in the Des Moines Register on March 27, 2025..

The Notice was also posted at the Van Meter City Hall, Van Meter Public Library, Van Meter Post Office and electronically at [www.vanmeteria.gov](http://www.vanmeteria.gov).

## **CITY REPORT**

City Clerk Drake recounted a summary of the application request, site plan and house plan. Zoning Administrator noted that due to the lot being a corner lot, the western setback is also 35 ft.

## **APPLICANT REPRESENTATIVES**

Duncan Construction provided no additional comments.

## **WRITTEN COMMENTS RECEIVED BY CITY PRIOR TO HEARING**

None.

## **PUBLIC INPUT**

Resident Karen Johnson expressed concern with the proximity of a structure so close to her existing home.

Resident Gary Wemer expressed similar concerns & stated he would like to see something built there.

## **APPLICANT CLOSING SUMMARY**

Abbey Duncan stated she had been previously unaware of the secondary frontage requirements of a 35ft setback. She also stated that her intent was to come to a compromised solution.

## **CITY CLOSING SUMMARY**

City staff had no closing remarks.

Doremus moved, supported by Anderson to close the public hearing. Carter – YES; Anderson – YES; Lyons - YES; Young – Absent; Doremus – YES.  
The public hearing was closed as of 6:15pm.

## **5. Discussion & Action by Board of Adjustment regarding the Variance Request as described in Agenda Item 3A**

### **DISCUSSION**

Board Members, Applicant Representatives, and City Staff discussed the variance request. Board Members Anderson, Lyons and Doremus expressed concerns with the western setback of 8ft and the length of the proposed driveway. Board Member Anderson also expressed a desire to see the western covered porch removed. Zoning Administrator detailed the 2 items under consideration 1) to grant a variance to build on a lot considered non-buildable and 2) if so, consideration of a variance to allow an 8ft setback from the foundation on the western side of the proposed house. Abbey offered to decrease the length of the garage to 26ft, increasing the driveway length to 18ft2in. This was acceptable to the Board and the Zoning Administrator. Board Member Anderson confirmed that the western porch would have to be constructed as a deck and could not be enclosed in the future. Abbey acknowledged the western porch comments. If granted the variance, Duncan Construction will need to have the property surveyed and will need to submit an updated building permit, site plan and building plan.

**Carter moved, supported by Doremus, to grant a variance allowing construction of a single family residence at 405 Main Street with a secondary frontage variance in the amount of 27ft, allowing for an 8ft setback from the foundation of the residence and a change to the building plans to decrease the length of the garage to 26ft, increasing the driveway length to at least 18ft2in to Duncan Construction.**

On roll call, the votes were as follows: Carter – YES; Anderson – YES; Lyons – YES; Young – ABSENT; Doremus – YES.

The application for a Variance by Duncan Construction for a single family residence at 405 Main Street on a lot that does not meet the minimum standards of the R2 Zoning District is approved.

## **6. Adjournment**

Doremus moved, supported by Lyons, to adjourn the meeting.

Carter – YES; Anderson – YES; Lyons - YES; Young – ABSENT; Doremus – YES.  
Meeting was adjourned at 6:37pm.

Jessica Drake  
City Clerk, City of Van Meter

# Agenda Item #4 - OPEN

## Public Hearing for a Variance Request

Sample Language:

**City Clerk:** *I would entertain a motion to open the public hearing.*

Board Member: \_\_\_\_\_ **So moved.**

Board Member: \_\_\_\_\_ **Second.**

**City Clerk:** Carter - \_\_\_\_; Anderson - \_\_\_\_; Lyons - \_\_\_\_; Young - \_\_\_\_; Doremus - \_\_\_\_.

**City Clerk:** *The public hearing is now open at \_\_\_\_\_pm.*



## **#4a - CITY REPORT**

The City received the building permit for a replacement garage on April 28, 2025. The permit was denied due to not meeting the minimum set back requirements.

The current garage sits facing north with access from the alley. The proposed new garage would face west with access from Pleasant Street. The existing garage is non-conforming to the zoning requirements. Upon demolition or alteration of greater than 50% of the existing garage, the garage will be required to comply with current zoning codes or a request for variance will need to be made to the Board of Adjustment.

The current zoning requirements require that an accessory building be situated at least 35 feet from the front lot line and at least 3 feet from any adjoining lot lines. This would move the proposed garage back further east on the property and would require a longer driveway.

Otherwise, if the desire is keep the design as shown in the submitted permit, an application will need to be submitted to the Board of Adjustment with a request for a variance for the front setback to allow for the shorter setback as initially proposed.

The City does have a hard surface ordinance and that all driveways are required to be paved. Compliance with the 35ft set back would also require a much longer paved driveway.

The builder has worked with the property owner to reposition the garage to be inline with the house instead of the initial placement indicated at the time of the building permit application. This results in an 11ft variance request.





Parcel ID	1521480005	Alternate ID	n/a	Owner Address	HAGEN, LOREITA C REVOCABLE TRUST UAD 06/13/2022
Sec/Twp/Rng	21-78-27	Class	R		409 PLEASANT ST
Property Address	409 PLEASANT ST VAN METER	Acreage	n/a		VAN METER, IA 50261
District	420000				
Brief Tax Description	CLAYTONS ADD LOT 5 BLK 8				
	(Note: Not to be used on legal documents)				





TO: Neighboring Property Owners

FROM: Jessica Drake, City Clerk

DATE: May 16, 2025

SUBJECT: Application for Variance before the Board of Adjustment for a property located in the R-2 Zoning District of the City of Van Meter

Notice of a Public Meeting – Van Meter Board of Adjustment

Notice is hereby given that the Van Meter Board of Adjustment will hold a public hearing on **Thursday, May 29, 2025 at 6:00pm** at City Hall located at 310 Mill Street in Van Meter, Iowa to consider a request for variance from LORI HAGEN, property owner of 409 Pleasant Street, Van Meter, IA 50261.

The property owner has submitted an application for Variance for the property located at 409 Pleasant Street, Van Meter, IA 50261. The property is located in the R-2 Zoning District as defined by the Van Meter Code of Ordinances, Chapter 165 Zoning Regulations. R-2 Zoning requires a minimum setback from the front property line of 35 feet. The property currently has a garage that sits on the property with a setback of approximately 11 feet and has submitted a building permit to replace the garage with a setback of approximately 20 feet.

Any party of interest may appear at the hearing or by legal counsel to express their views in support or against granting the request for variance. Written comments shall be received by the City Clerk no later than 4:00pm on Thursday, May 29, 2025.

Written comments may be made by delivery to City Hall, by mail to City of Van Meter, PO BOX 160, Van Meter, IA 50261 or by email to [jdrake@vanmeteria.gov](mailto:jdrake@vanmeteria.gov).

JESSICA DRAKE CITY CLERK  
CITY OF VAN METER

# Van Meter

**165.04.04 Accessory Buildings.** No accessory building structure or garage that exceeds six (6) feet in height shall be erected, except as provided hereinafter:

1. Accessory buildings, including roof overhangs, shall be at least three (3) feet from lot lines of adjoining lots in any "R" District. An accessory building within sixty (60) feet of the front yard line shall have a full side yard between it and the side lot line. On a corner lot the accessory building shall conform with the setback regulations of the principal building.

2. Accessory buildings may be erected as part of the principal building or may be connected thereto by a breezeway or similar structure. Such connected accessory buildings shall be considered as part of the principal building for all yard requirements.

3. Accessory buildings shall be at least five (5) feet from any other separate building or structure on the same lot.

4. Any accessory building, including a garage, located in any "R" District shall comply with the applicable front yard setback for the principal building.

5. Accessory buildings and structures which are constructed above the normal ground surface in any required yard area shall not occupy more than thirty (30) percent of the yard area in which it is located; however, this regulation shall not be interpreted to prohibit the construction of a garage not to exceed six hundred twenty-five (625) square feet of gross building area.

6. A garage accessory building in any "R" District shall not exceed twenty (20) feet in height to the highest measured point of the garage accessory building. All other accessory buildings in a residential use in any "R" District shall not exceed twelve (12) feet in height to the highest measured point of the accessory building, and no accessory building shall exceed the highest measured point of the main residential building or dwelling.

\*\*\*\*\*

Materials used for the roofing and siding of the accessory building must be the same material as that used for the main residential building or dwelling. If the siding of the main residential building or dwelling is brick, stucco, or a material not available, no longer produced, the accessory building siding may be hard wood panel, lap siding, or simulated vinyl or steel lap siding with the same, blending or matching color to the main residential building or dwelling.

**165.08 R-1 SINGLE-FAMILY RESIDENCE DISTRICT.**

1. Single-Family Residential District is established as a district in which the principal use of land is for single-family dwellings, to which purpose the specific intent of this section is:
- A. To encourage the continued construction and use of the area for single-family dwellings.
  - B. To prohibit commercial and industrial use of the land, and of any other use which would inhibit single-family development of the area.
  - C. To discourage any use which would generate heavier than normal traffic on minor residential streets.
2. Principal Permitted Uses.
- A. Single-family dwellings.
  - B. Churches, temples, and accessory buildings.
  - C. Public libraries, museums, or similar community facilities.
  - D. Public parks, playgrounds, golf course and recreation areas, provided that no such use be operated primarily for gain.
  - E. Public and private schools.
3. Accessory Uses.
- A. Private garage or carport.
  - B. Temporary buildings erected during the construction of a permitted use.
  - C. One sign not exceeding 10 square feet in area referring to the construction, lease, hire, or sale of a building, premises or subdivision lots, which sign shall refer to the property on which it is located, and shall be removed as soon as the premises area sold, leased or construction completed.
  - D. Church and school bulletin boards, not to exceed 40 square feet in area. Such bulletin boards shall be non-illuminated or indirectly lighted with non-moving, non-flashing, non-rotating white light.
  - E. One sign, non-illuminated, appurtenant to a home occupation or permitted use, not exceeding six square feet on any one side thereof and not more than two sides of such sign shall be used for advertising purposes; the bottom of the surface area of such sign shall not be more than 42 inches above the ground surface upon which is erect.
  - F. Professional office of a member of a recognized profession, provided that it is such person's primary residence, not more than one assistant shall be regularly employed therein, and no colleagues or associates shall use such office, and not more than one-half the area of one floor shall be used for such office.
4. Area Regulations.
- A. Lot Area. The minimum lot area shall be 10,000 square feet. Where public sewer and water facilities are not available, the minimum area shall be 20,000 square feet.
  - B. Lot Width. The minimum lot width shall be 80 feet.
  - C. Yard Width. The minimum yard widths shall be as follows:

Use	Front Yard	Rear Yard	Side Yard
Single-family dwelling	35 feet	35 feet	10% of overall lot width for each side; 8 feet minimum
Single-family dwelling in single subdivision of more than 150 lots with approval of Council	30 feet	25 feet	7 feet per side; minimum 15 feet total
Other buildings	35 feet	45 feet	10% of overall lot width for each side; 8 feet minimum

- D. Building Height. The maximum building height shall be two and one-half stories, with a principal building height maximum of 35 feet. Accessory buildings shall be a maximum 12 feet in height.
- E. Minimum Single-Family Dwelling Dimensions. Neither the minimum overall width dimensions nor the overall depth dimension of a single-family dwelling shall be less than 20 feet.

**165.09 R-2 TWO-FAMILY RESIDENCE DISTRICT.**

1. The One- and Two-Family Residence District is established as one designed to provide for a medium density residential development. The specific intent of this section is:
- A. To encourage construction and use of the area for single- and two-family dwellings.

B. To provide for medium density housing and the attendant rise in traffic on specific collector streets.

C. To prohibit commercial and industrial use of the land, and of any other use which would inhibit residential orientation of the area.

2. Principal Permitted Uses.

A. Any and all uses permitted under the R-1 classification.

B. Single-family dwellings.

C. Two-family dwellings.

D. Conversion of one-family dwellings into two dwellings in accordance with all lot area, frontage and yard requirements set forth in this section.

3. Accessory Uses.

A. Accessory uses permitted under the R-1 classification.

B. Customary home occupations, conducted entirely and solely by resident occupants in their place of abode; and provided that not more than one-half of the area of one floor be utilized for such purpose; further providing that said occupations require no external or internal structural alterations, or the use of mechanical equipment not customarily used in dwellings. Customary home occupations to be determined by Board of Adjustment.

C. Nursery schools, or child nurseries provided that the building be located not less than 20 feet from any other lot in any R district classification; provided that 30 square feet of usable interior floor space and 100 square feet of usable outdoor play space is provided for each child. The outdoor play space must be completely enclosed by a fence not less than four feet, nor more than six feet in height.

4. Area Regulations.

A. Lot Area. The minimum lot area shall be 8,400 square feet for single-family dwellings and 12,500 square feet for a two-family dwelling.

B. Lot Width. The minimum lot width shall be 66 feet for single-family dwellings and 90 feet for two-family dwellings.

C. Yard Width. The minimum front yard shall be 35 feet, the minimum rear yard shall be 30 feet for a dwelling and 45 feet for any other building. For two-family dwellings the total side yard requirement shall be not less than 20 feet, with the least side minimum being eight feet. For all other buildings other than two-family dwellings, lots 80 feet or more for each side yard and lots greater than 80 feet wide shall have a side yard equal to or greater than 10 percent of the overall lot width, for each side yard.

D. Building Height. The maximum building height shall be two and one-half stories, with the principal building height maximum of 35 feet. Accessory building height maximum shall be 12 feet.

E. Minimum Dwelling Dimensions. Neither the minimum overall width dimension nor the overall depth dimension of a single-family dwelling shall be less than 20 feet.

Name	Street	City	State	Zip Code
Larry Laughridge	208 Grant Street	Van Meter	IA	50261
Ben Weber	113 Main Street	Van Meter	IA	50261
Rick Feldman	4425 Mills Civic Parkway #160	West Des Moines	IA	50265
Alan & Megan VanGundy	35754 Nome Court	De Soto	IA	50069
Brooke Champagne	218 Grant Street	Van Meter	IA	50261
Elaine Sutherland	224 Grant Street	Van Meter	IA	50261
Ashley Connett	211 Main Street	Van Meter	IA	50261
Teresa McNace	PO BOX 74	Van Meter	IA	50261
Donna Cline	217 Grant Street	Van Meter	IA	50261
Don Lemon	209 Grant Street	Van Meter	IA	50261
Randy Meier	508 Pleasant Street	Van Meter	IA	50261
John Jungman	221 Locust Street	Van Meter	IA	50261
Lisa Weiland	428 Pleasant Street	Van Meter	IA	50261
Monte Jimmerson	416 Pleasant Street	Van Meter	IA	50261
Marissa Lane	109 Main Street	Van Meter	IA	50261
Christopher & Chelsea Arganbright	308 Pleasant Street	Van Meter	IA	50261
Scott & Cynthia Pelz	PO BOX 107	Van Meter	IA	50261
Jon & Tamula Huggins	119 Elm Street	Van Meter	IA	50261
Janice Shepard	210 Main Street	Van Meter	IA	50261
Andy & Amy Walsh	PO BOX 87	Van Meter	IA	50261
Suellen Acri	PO BOX 66	Van Meter	IA	50261
Jermey Feldman	PO BOX 248	Van Meter	IA	50261
Zach Dykstra & Kayla Kernan	PO BOX 42	Van Meter	IA	50261
Jeff & Carla Schneider	PO BOX 10	Van Meter	IA	50261
Chris & Christi Power	PO BOX 157	Van Meter	IA	50261
Jacob Pleggenkuhle	PO BOX 84	Van Meter	IA	50261



**AFFIDAVIT OF PUBLICATION**


City of Van Meter  
310 Mill Street  
Van Meter IA 50261

STATE OF WISCONSIN, COUNTY OF BROWN

The Des Moines Register and Tribune Company, a newspaper printed and published in the city of Des Moines, Polk County, State of Iowa, and personal knowledge of the facts herein state and that the notice hereto annexed was Published in said newspapers in the issue:

05/14/2025

and that the fees charged are legal.  
Sworn to and subscribed before on 05/14/2025

  
\_\_\_\_\_  
Legal Clerk

  
\_\_\_\_\_  
Notary, State of WI, County of Brown

  
\_\_\_\_\_  
My commission expires

Publication Cost:	\$40.60	
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**VICKY FELTY**  
Notary Public  
State of Wisconsin

City of Van Meter - Board of  
Adjustment May 29, 2025  
Notice of a Public Meeting – Van  
Meter Board of Adjustment

Notice is hereby given that the Van Meter Board of Adjustment will hold a public hearing on Thursday, May 29, 2025 at 6:00pm at City Hall located at 310 Mill Street in Van Meter, Iowa to consider a request for variance from LORI HAGEN, property owner of 409 Pleasant Street, Van Meter, IA 50261.

The property owner has submitted an application for Variance for the property located at 409 Pleasant Street, Van Meter, IA 50261. The property is located in the R-2 Zoning District as defined by the Van Meter Code of Ordinances, Chapter 165 Zoning Regulations. R-2 Zoning requires a minimum setback from the front property line of 35 feet. The property currently has a garage that sits on the property with a setback of approximately 11 feet and has submitted a building permit to replace the garage with a setback of approximately 20 feet.

Any party of interest may appear at the hearing or by legal counsel to express their views in support or against granting the request for variance. Written comments shall be received by the City Clerk no later than 4:00pm on Thursday, May 29, 2025.

Written comments may be made by delivery to City Hall, by mail to City of Van Meter, PO BOX 160, Van Meter, IA 50261 or by email to [idrake@vanmeteria.gov](mailto:idrake@vanmeteria.gov).

JESSICA DRAKE  
CITY CLERK  
CITY OF VAN METER  
May 14 2025  
LIOW0294762

## **#4b- APPLICANT DOCUMENTS & INITIAL COMMENTS**

RESIDENTIAL PERMIT TYPE: New Construction ☐ Renovation ☒ Garage ☐ Shed ☐ Deck ☐ Pool ☐ Other ☐

COMMERCIAL/INDUSTRIAL PERMIT TYPE: New Construction ☐ Renovation ☐ Other ☐

ATTACH SITE PLAN, DRAWINGS AND/OR BUILDING PLANS

### JOB SITE INFORMATION

Project Address: 409 Pleasant St  
 Applicant Name: Gold Dome Buildings  
 Application Date: 4/24/25  
 Plat #: \_\_\_\_\_ Lot #: \_\_\_\_\_  
 Development Name: \_\_\_\_\_  
 Commercial ☐ Industrial ☐ Public ☐  
 Single Family ☒ Two Family ☐ Mult-Family ☐  
 Property in a flood plain? Yes ☐ No ☐ Minimum Elevation MPE \_\_\_\_\_

### BUILDING SQUARE FOOTAGE

Level 1 \_\_\_\_\_ Pool Size \_\_\_\_\_  
 Level 2 \_\_\_\_\_ Deck Size \_\_\_\_\_  
 Basement Finished \_\_\_\_\_ Garage 840  
 Basement Unfinished \_\_\_\_\_ Shed \_\_\_\_\_

### DESCRIPTION OF PROJECT

Does not meet front yard setbacks

## DENIED

PDF building plans preferred

### PERMIT FEES (to be completed by V&K)

PROJECT VALUATION	Building	Trades	Approach	Sewer Connection	Water Connection & Excise Tax	Total Permit Fee
\$ _____	\$ _____	\$ _____	\$ _____	\$ _____	\$ _____	\$ _____

### ADDITIONAL ACKNOWLEDGEMENTS

- Except as provided by law, where any work has been started prior to obtaining this permit, the regular fee should be doubled.
- This permit shall expire if work has not commenced or has been abandoned for 120 days.
- ALL WORK MUST BE INSPECTED. It is the responsibility of the permittee to call for inspections. No work shall be concealed or covered until approved by the inspector.
- The permittee acknowledges that they are proficient in the performance of the work covered by this permit.
- Complete the application and submit all required documentation (including PDF plans) to the City of Van Meter at [permits@vanmeteria.gov](mailto:permits@vanmeteria.gov). Work may only commence upon receipt of an approved permit and payment of the permit fee to the City of Van Meter.

### OWNER OR AGENT SIGNATURE

X \_\_\_\_\_ Date: \_\_\_\_\_

WHEN APPROVED BELOW, THIS BECOMES A VALID PERMIT

Issued By: **DENIED** Date: 4-27-25  
 Building Official

☐ Payment Received Date: \_\_\_\_\_ Amount: \$ \_\_\_\_\_

Please contact Veenstra & Kimm with any questions or to schedule an inspection. A 24 hour notice is required prior to an inspection request.

Email: [BuildingInspection@v-k.net](mailto:BuildingInspection@v-k.net) Phone: 515-850-2980

Property Owner

Contractor

Architect-Engineer

Sub-Contractors

Name: Lori Haggan  
 Address: 409 Pleasant St  
 City: Van Meter State: IA Zip Code: 50261  
 Email: \_\_\_\_\_ Phone: \_\_\_\_\_

Name: Gold Dome Buildings (Buck)  
 Address: 2714 2nd Ave  
 City: Des Moines State: IA Zip Code: 50313  
 Email: golddomebuildings@yahoo.com Phone: 515-243-8554

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Email: \_\_\_\_\_ Phone: \_\_\_\_\_

Electrical Contractor Name: \_\_\_\_\_ Phone: 515 202 1848  
A-Wye Electric State License #: MA 2753

Plumbing Contractor Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
 \_\_\_\_\_ State License #: \_\_\_\_\_

Mechanical Contractor Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
 \_\_\_\_\_ State License #: \_\_\_\_\_





## Board of Adjustment Application

Filing fee: \$15.00

Paid: \_\_\_\_\_

Receipt No.: \_\_\_\_\_

I/We, the undersigned, do hereby request that you consider this application for:

☒ Variance      \_\_\_\_\_ Conditional Use      \_\_\_\_\_ Exception

to Section 165.09 (R2 Zoning Setbacks) of the Code of Ordinances.

Application Date: 4/29/25

Address of Property: 409 Pleasant St

The following are persons having an interest in the above-mentioned property:

Recorded Owner/s: Lori Haagan

Mailing Address: 409 Pleasant St

Contract Purchaser/s: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Lessee/s: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

### Required Documents:

- Site Plan
- Ground Plan or Elevations Maps
- List of names, addresses and lot numbers for all property owners within 250 feet of the exterior property lines for the property

Please respond to the following questions providing any information requested.

1. Legal description of the subject property: 409 Pleasant St  
Van Meter 1A

2. Present zoning classification: R2 - Two Family Residence District

3. Describe the existing uses in the immediate vicinity and explain whether the proposed variance/use would have any adverse affect on surrounding properties.

There is currently a garage in place  
Proposed Variance would offer a better sight line  
and save Homeowner a small fortune in concrete  
Also they would still have a back yard

4. Are there any circumstances unique to the property which do not apply to other properties in the immediate vicinity, and which would result in the inability of your property to yield a reasonable return?

There is currently no real driveway  
old garage was alley access, &

5. What hardship will result if the variance/use is not granted?

To long of driveway for the lot entire side yard would be  
concrete

6. Explain why the conditional use you are requesting is necessary (if applicable).

NA

7. Will the proposed variance/use interfere with the development or use of the neighboring property?

No

8. Please provide any additional information which supports your request.

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**FOR EXCEPTIONS:**

1. Provide a description of the exception.

NA

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2. As it relates to the occupants of adjoining and surrounding property, does the proposed exception adequately safeguard:

- a. Health? ☐ YES ☐ NO  
b. Safety? ☐ YES ☐ NO  
c. Welfare? ☐ YES ☐ NO

3. Does the proposed exception increase congestion in the public streets? ☐ YES ☐ NO

4. Does the proposed exception increase public danger of fire or diminish safety? ☐ YES ☐ NO

5. Does the proposed exception diminish or impair established property values? ☐ YES ☐ NO

6. Is the appellant a public service corporation? ☐ YES ☐ NO

7. Is the proposed exception for public utility purposes or for public communications? ☐ YES ☐ NO

8. Does the boundary line of a zoning district divide a lot in single ownership? ☐ YES ☐ NO

9. Does the proposed exception extend the zoning district line by more than 40 feet? ☐ YES ☐ NO

**FOR VARIANCES:**

1. Is there a limitation on the use of the property due to physical topographical and geological features? If yes, please explain.

She Has A Corner lot with a ditch on Two Sides  
we are Planning To install a Culvert in the ditch under  
Driveway



2. Will this variance grant any special privilege to you? If yes, please explain.

NP

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3. Can you demonstrate that without a variance there can be no reasonable use of the property? If yes, please explain.

NP

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4. Is the request for a variance based solely on economic reasons? If yes, please explain.

NP,

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5. Is the necessity for a variance created by you? If yes, please explain.

NP

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6. Is the variance request the minimum variance necessary to allow reasonable use of the property? If yes, please explain.

NO

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7. Will granting the variance be injurious to the public's health, safety or welfare? If yes, please explain.

NP

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8. Does the property possess one or more unique characteristics generally not applicable to similarly situated properties? If yes, please explain.

NO

**Present Facts, Not Conclusions** – This appeal will not be successful unless sufficient facts, not mere conclusions, are presented in this Application to justify the variance in light of the requirements of the Ordinance. As a general statement, you must show that the granting of the variance relates to the overall intent and purposes of the Zoning Ordinance and the Comprehensive Plan as a whole. These documents are available at City Hall. You are free to review them, but are not required to do so. All of the basic, required information needed is contained in this Application.

**Building Permit Still Required** – Approval of the Variance/Exception/Conditional Use by the Board of Adjustment in no way absolves the applicant from subsequently obtaining the necessary building permits or other permits from the City of Van Meter or from other applicable agencies.

ON PENALTY OF PERJURY, I DECLARE THAT THE ABOVE STATEMENTS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

  
APPLICANT

5/5  
Date

OWNER

Date

**Office Use:**

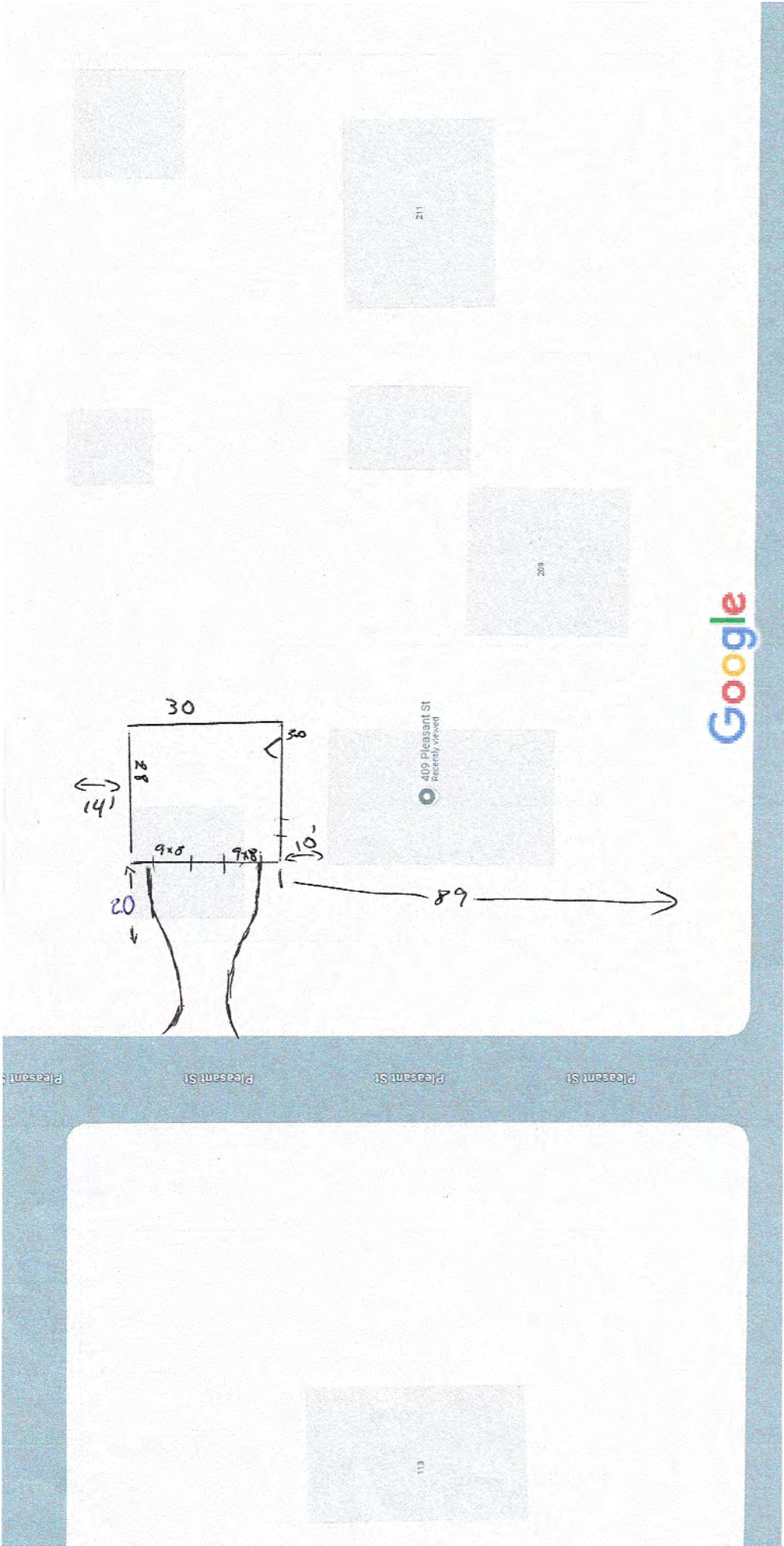
Date \_\_\_\_\_ Application Received

Date \_\_\_\_\_ Owners within 250 feet notified (list attached)

Date \_\_\_\_\_ Board of Adjustment Meeting Notice Posted

Date \_\_\_\_\_ Board of Adjustments Meeting Held

Decision: \_\_\_\_\_  
(Meeting minutes attached)





# Van Meter

tradition with a vision

## DEMO PERMIT

PO Box 160, 310 Mill Street, Van Meter, IA 50261 | Ph: 515-996-2644 | [permits@vanmeteria.gov](mailto:permits@vanmeteria.gov)

JOB SITE INFORMATION	APPLICANT INFORMATION
Address: <u>409 Pleasant St</u> Owner: <u>Lori' Haagen</u> Owner Address: <u>Same</u> Owner City/State/Zip: <u>Van Meter IA 50261</u> Phone: _____ Email: _____	Company: <u>Gold Dome Buildings</u> Address: <u>2714 2nd Ave</u> City/State/Zip: <u>Des Moines IA 50313</u> Phone: <u>515-243-8554</u> Email: <u>gold dome build@yahoo.com</u>
<p><b>Type of Use</b></p> <p><input checked="" type="checkbox"/> Residential Project      <input type="checkbox"/> Nonresidential Project</p> <p>Existing electrical Connections      <input checked="" type="checkbox"/> Yes      <input type="checkbox"/> No</p> <p>Existing water/sewer connections      <input type="checkbox"/> Yes      <input checked="" type="checkbox"/> No</p>	<p><b>Project Description:</b></p> <p><u>Remove Existing 24x24</u> <u>Replace with 30x28</u></p>

1. Scope of work, signed permit and site plan attached.
2. All construction debris to be removed from site including foundation - inspection required prior to backfilling.
3. Water service shall be disconnected and capped @ curb stop - inspection required before cover-up.
4. Sewer service shall be disconnected and capped @ property line - Inspection required before cover-up.
5. Finish grading with at least 4" of topsoil is required and erosion controls placed.
6. Asbestos and/or other contaminants may impose additional requirements from outside agencies.
7. During demolition process, jobsite to be secure at the end of the day. (preferably an orange fence)

I agree to comply with and City and State regulations, accepts all responsibility for any issues that may arise during this project. Except as provided by law, where any work has been started prior to obtaining this permit, the regular fee shall be doubled. This permit shall expire if work has not commenced or has been abandoned for 120 days. A new permit will be required. Permit expires if work has not been substantially completed within one year of issuance.

X <u>Buck Crampton</u> SIGNATURE OF OWNER OR AGENT	Date: <u>4/28/25</u>	X _____ PERMIT APPROVED AND ISSUED BY	Date: _____
X <u>Buck Crampton</u> PRINTED NAME		PERMIT FEE \$50 Residential \$100 Commercial	

Send completed form and site plans to City Hall at: [permits@vanmeteria.gov](mailto:permits@vanmeteria.gov)

For more information contact Veenstra & Kimm: 515-850-2980 or [buildinginspection@v-k.net](mailto:buildinginspection@v-k.net)

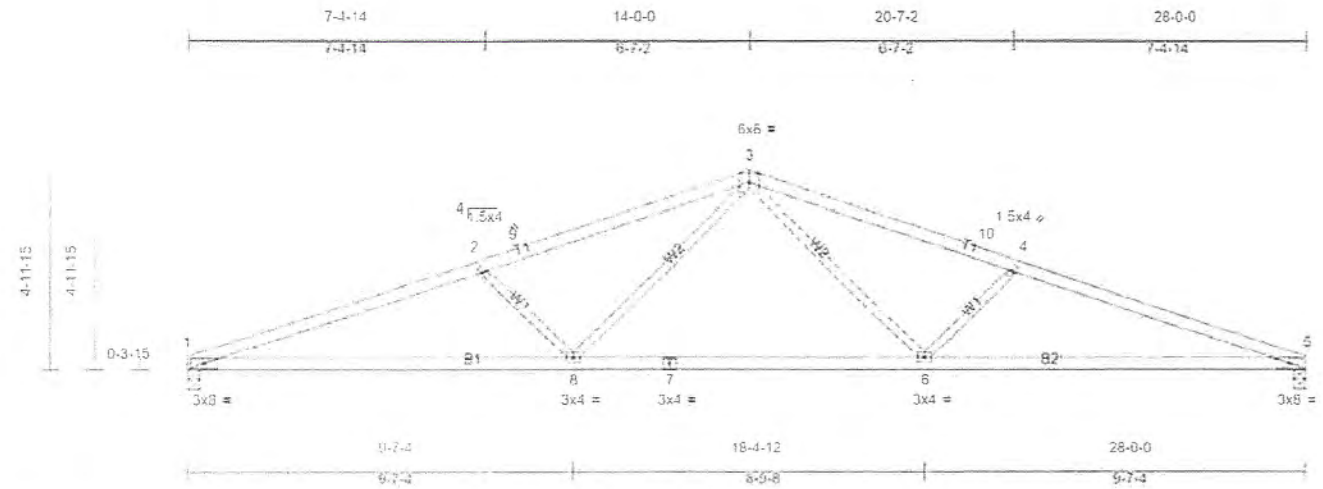
Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
QTREC0551958	T1	COMMON	8	1	

Address: Manufacturing Eau Claire, WI

Run: 6/2/2017 10:30:17 PM Print: 6/20/2017 10:30:17 AM MiTek Industries, Inc. Mon May 21 07:20:37

Page: 1

ID: Yp7mb0mjNJfUETpF\_1RkzELn-BV9FkKaXSSP7J7fyfVIRTr\_gkm66TsG2HeSszELd



Scale = 1/4" = 1'-0"

Loading	(psf)	Spacing	2'-0"	CSI	DEFL	in	(loc)	I/defl	L/d	PLATES	GRIP
TCLL (roof)	30.0	Plate Grip DOL	1.15	TC	0.72	0.26	1-8	>999	240	MT20	197/144
Snow (Ps/Pg)	27.7/40.0	Lumber DOL	1.15	BC	0.81	0.52	5-6	>637	180		
TCDL	7.0	Rep Stress Incr	YES	WB	0.54	0.11	5	n/a	n/a		
BCLL	0.0*	Code	IRC2015/TP12014	Matrix-R							
BCDL	10.0									Weight: 81 lb	FT = 15%

#### LUMBER

TOP CHORD 2x4 SPF 1650F 1.5E  
BOT CHORD 2x4 SPF 1650F 1.5E  
WEBS 2x3 SPF Stud

#### BRACING

TOP CHORD  
BOT CHORD

Structural wood sheathing directly applied or 2-8-12 oc purlins

**Rigid ceiling directly applied or 10-0-0 oc bracing.**

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS (lb/size): 1=1239/0-3-8, (min 0-2-1) 5=1239/0-3-8, (min 0-2-1)  
Max Horiz 1=61(LC 18)  
Max Uplift 1=99(I C 10) 5=99(I C 11)  
Max Grav 1=1302(LC 2), 5=1302(LC 2)

#### FORCES

(lb) - Max Comp /Max Ten - All forces 250 (lb) or less except when shown

TOP CHORD 1-2=-3141/474, 2-9=-2756/390, 3-9=-2074/406, 3-10=-2074/406, 4-10=-2756/390, 4-5=-3141/474  
BOT CHORD 1-8=-398/2916, 7-8=-217/1967, 6-7=-217/1967, 5-6=-398/2916  
WEBS 2-8=-618/205, 3-8=-59/895, 3-6=-59/895, 4-6=-618/205

#### NOTES

- Unbalanced roof live loads have been considered for this design
- Wind: ASCE 7-10: Vult=115mph (3-second gust) Vasd=91mph: TCDL=4.2psf; BCDL=6.0psf; h=25ft, Cat II; Exp B; enclosed, MWFRS (envelope) exterior zone and C-C Exterior(2) zone, cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown. Lumber DOL=1.60 plate grip DOL=1.60
- TCLL ASCE 7-10 Pr=30.0 psf (roof live load Lumber DOL=1.15 Plate DOL=1.15); Pg=40.0 psf (ground snow), Ps=27.7 psf (roof snow Lumber DOL=1.15 Plate DOL=1.15). Category II, Exp B; Fully Exp., Ct=1.1
- Roof design snow load has been reduced to account for slope
- Unbalanced snow loads have been considered for this design
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads
- \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3'-0"-0" tall by 2'-0"-0" wide will fit between the bottom chord and any other members
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 99 lb uplift at joint 1 and 99 lb uplift at joint 5
- This truss is designed in accordance with the 2015 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TP1-1

LOAD CASE(S) Standard

Jou Truss Truss Type Qty Ply  
 QTREC0461330 T2E GABLE 1 1  
 Job Reference (optional)  
 7:640 s Nov 10 2015 MiTek Industries, Inc. Mon Jun 06 08:37:38 2016 Page 1  
 ID: Cm67F90xik8WIAJ59fazyF294F -eBEcdyLxY9aY0VvLPqrO9cfV8ksmMUMOMIy293?R  
 midwest manufacturing, eau Claire, wi 54703

0-0-0 4-0-0 4-0-0 2-0-0 6-0-0 2-0-0 6-0-0 2-0-0 10-0-0 2-0-0 12-0-0 2-0-0 14-0-0 2-0-0 16-0-0 2-0-0 18-0-0 2-0-0 20-0-0 2-0-0 22-0-0 2-0-0 24-0-0 4-0-0 28-0-0  
 Scale = 1/47.5

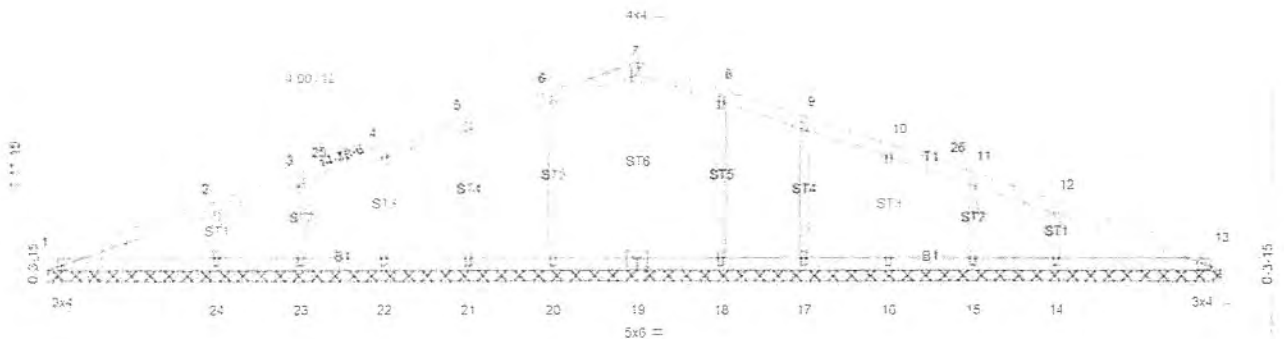


Plate Offsets (X,Y) -- [19 0-3-0,0-3-0]									
LOADING (psf)		SPACING-	2-0-0	CSL		DEFL	in (loc)	l/defl	L/d
TCLL (roof)	50.0	Plate Grip DOL	1.15	TC	0.28	Vert(LL)	n/a	n/a	999
Snow (Ps/Pg)	48.5/70.0	Lumber DOL	1.15	BC	0.18	Vert(CT)	n/a	n/a	999
TCDL	10.0	Rep Stress Incr	YES	WS	0.18	Horz(CT)	0.00	13	n/a
BCLL	0.0	Code IRC2015/TPI2014		(Matrix)					
BCDL	10.0								
					Weight: 89 lb FT = 20%				

LUMBER-	BRACING-
TOP CHORD 2x4 SPF No 2	TOP CHORD Sheathed or 6-0-0 oc purlins.
BOT CHORD 2x4 SPF No 2	BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.
WEBS 2x3 SPF Stud	
OTHERS 2x3 SPF Stud	
	MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS. All bearings 28-0-0.  
 (lb) - Max Horiz 1=61(LC 18)  
 Max Uplift All uplift 100 lb or less at joint(s) 1, 13, 20, 21, 22, 23, 24, 18, 17, 16, 15, 14  
 Max Grav All reactions 250 lb or less at joint(s) 1, 13, 19, 23, 15 except 20=384(LC 20), 21=349(LC 20),  
 22=390(LC 20), 24=572(LC 31), 18=384(LC 21), 17=349(LC 21), 16=390(LC 21), 14=572(LC 32)

FORCES. (lb) - Max Comp/Max Ten - All forces 250 (lb) or less except when shown.  
 WEBS 6-20=-343/57, 5-21=-312/57, 4-22=-339/61, 2-24=-445/100, 8-18=-343/57,  
 9-17=-312/57, 10-16=-339/61, 12-14=-445/100

JOINT STRESS INDEX  
 1 = 0.77, 2 = 0.51, 3 = 0.51, 4 = 0.51, 5 = 0.51, 6 = 0.51, 7 = 0.34, 8 = 0.51, 9 = 0.51, 10 = 0.51, 11 = 0.51, 12 = 0.51, 13 = 0.77, 14 = 0.51, 15 = 0.51, 16 = 0.51, 17 = 0.51, 18 = 0.51, 19 = 0.31, 20 = 0.51, 21 = 0.51, 22 = 0.51, 23 = 0.51 and 24 = 0.51

- NOTES- (15)
- 1) Unbalanced roof live loads have been considered for this design.
  - 2) Wind: ASCE 7-10: Vult=115mph (3-second gust) Vasd=91mph: TCDL=4.2psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (envelope) gable end zone and C-C Exterior(2) zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
  - 3) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
  - 4) TCLL: ASCE 7-10: Pr=50.0 psf (roof live load, Lumber DOL=1.15 Plate DOL=1.15); Pg=70.0 psf (ground snow); Ps=48.5 psf (roof snow); Lumber DOL=1.15 Plate DOL=1.15; Category II; Exp B; Fully Exp.; C1=1
  - 5) Roof design snow load has been reduced to account for slope.
  - 6) Unbalanced snow loads have been considered for this design.
  - 7) All plates are 1/4" x 4" MT20 unless otherwise indicated.
  - 8) Gable requires continuous bottom chord bearing.
  - 9) Gable studs spaced at 2-0-0 oc
  - 10) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
  - 11) This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
  - 12) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 1, 13, 20, 21, 22, 23, 24, 18, 17, 16, 15, 14.
  - 13) This truss is designed in accordance with the 2015 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.
  - 14) "Semi-rigid pitchbreaks with fixed heels" Member end fixity model was used in the analysis and design of this truss.

LOAD CASE(S) Standard

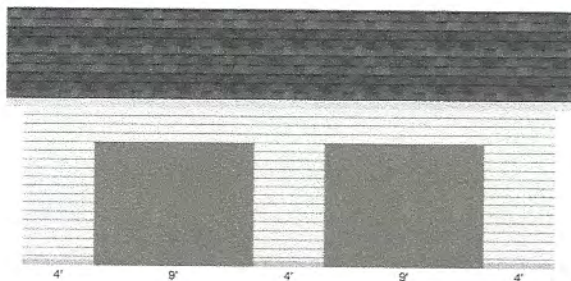


DATE: 2/20/2023 - 2:17 PM  
Design Name: Garage Design  
Design ID: 309056576996  
Estimated Price: \$11,446.99

*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

# Design & Buy

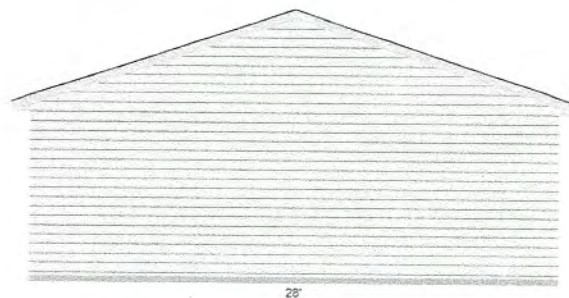
## GARAGE



**SIDEWALL C**

9' x 7' framed opening

9' x 7' framed opening



**ENDWALL A**

Design Name: Garage Design  
Design ID: 309056576996  
Estimated Price: \$11,446.99

*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

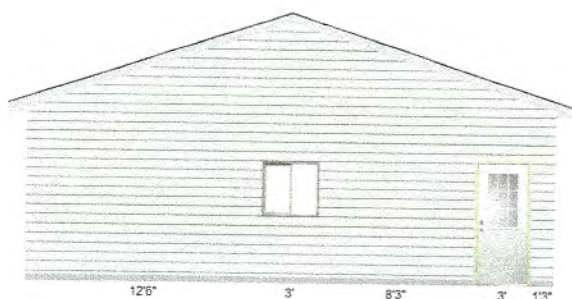
# Design & Buy

## GARAGE

### Dimensions

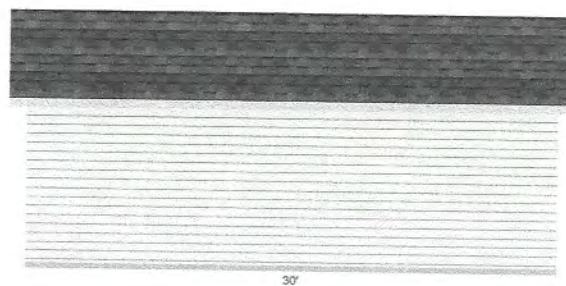
### Wall Configurations

\*Some items like wainscot, gutter, gable accents, are not displayed if selected.



**ENDWALL B**

Mastercraft® 36W x 80H Primed Steel Internal 9-Lite  
36"W x 36"H Northview Aspen Vinyl Slider



**SIDEWALL D**

# BUILDING PERMIT

Page 2 of 2

Address: 409 Pleasant St

## OFFICIAL USE ONLY

Zoning: \_\_\_\_\_

☒ New Const. ☐ Addition ☐ Change of Occupancy ☐ Repair ☐ Remodel ☒ Demolition

Type of Use: Accessory Bldg Construction Type: Conventional Occupancy Group: \_\_\_\_\_

Description of work: Remove and Replace old garage with Larger

AREA/Sq ft.	VALUATION	ZONING
1st Floor:	\$	Rear Setback: <u>27 ft</u>
2nd Floor:	\$	Front Setback: <u>11 ft</u>
3rd Floor:	\$	Side Setback: <u>14 ft</u>
Basement:	\$	Side Setback: <u>89 ft</u>
Gar/Carport: <u>30 x 28</u>	\$	# of Req Parking:
Other Structure:	\$	# Handicapped Spots:
Deck Porch	\$	
TOTAL	\$	

BUILDING PERMIT FEES	
Basic Permit Fee:	\$
Plan Review Fee:	\$
M.E.P.s Fee's @ \$75ea:	\$
Approach Fee:	\$
Sidewalk Fee:	\$
UTILITY FEES	
Sewer Con. Fee:	\$
Sewer Dist. Fee:	\$
Storm Utility Fee:	\$
Water Connect Fee:	\$
Water Meter Fee:	\$
Water Meter Irrigation Fee:	\$
TOTAL FEE:	\$

Comments:



RESIDENTIAL PERMIT TYPE: New Construction ☐ Renovation ☒ Garage ☐ Shed ☐ Deck ☐ Pool ☐ Other ☐

COMMERCIAL/INDUSTRIAL PERMIT TYPE: New Construction ☐ Renovation ☐ Other ☐

**ATTACH SITE PLAN, DRAWINGS AND/OR BUILDING PLANS**

### JOB SITE INFORMATION

Project Address: 409 Pleasant St

Applicant Name: Gold Dome Buildings

Application Date: 4/24/25

Plat #: \_\_\_\_\_ Lot #: \_\_\_\_\_

Development Name: \_\_\_\_\_

Commercial ☐ Industrial ☐ Public ☐

Single Family ☒ Two Family ☐ Mult-Family ☐

Property in a flood plain? Yes ☐ No ☐ Minimum Elevation MPE \_\_\_\_\_

### BUILDING SQUARE FOOTAGE

Level 1 \_\_\_\_\_ Pool Size \_\_\_\_\_

Level 2 \_\_\_\_\_ Deck Size \_\_\_\_\_

Basement Finished \_\_\_\_\_ Garage 840

Basement Unfinished \_\_\_\_\_ Shed \_\_\_\_\_

### DESCRIPTION OF PROJECT

PDF building plans preferred

### PERMIT FEES (to be completed by V&K)

PROJECT VALUATION	Building	\$
\$ _____	Trades	\$ _____
	Approach	\$ _____
	Sewer Connection	\$ _____
	Water Connection & Excise Tax	\$ _____
	<b>Total Permit Fee</b>	<b>\$ _____</b>

### ADDITIONAL ACKNOWLEDGEMENTS

- Except as provided by law, where any work has been started prior to obtaining this permit, the regular fee should be doubled.
- This permit shall expire if work has not commenced or has been abandoned for 120 days.
- ALL WORK MUST BE INSPECTED. It is the responsibility of the permittee to call for inspections. No work shall be concealed or covered until approved by the inspector.
- The permittee acknowledges that they are proficient in the performance of the work covered by this permit.
- Complete the application and submit all required documentation (including PDF plans) to the City of Van Meter at [permits@vanmeteria.gov](mailto:permits@vanmeteria.gov). Work may only commence upon receipt of an approved permit and payment of the permit fee to the City of Van Meter.

### OWNER OR AGENT SIGNATURE

X \_\_\_\_\_ Date: \_\_\_\_\_

**WHEN APPROVED BELOW, THIS BECOMES A VALID PERMIT**

Issued By: \_\_\_\_\_ Date: \_\_\_\_\_

Building Official

☐ Payment Received Date: \_\_\_\_\_ Amount: \$ \_\_\_\_\_

Please contact Veenstra & Kimm with any questions or to schedule an inspection. A 24 hour notice is required prior to an inspection request.

Email: [BuildingInspection@v-k.net](mailto:BuildingInspection@v-k.net) Phone: 515-850-2980

Property Owner

Contractor

Architect-Engineer

Sub-Contractors

Name: Lori Haggan

Address: 409 Pleasant St

City: Van Meter State: IA Zip Code: 50261

Email: \_\_\_\_\_ Phone: \_\_\_\_\_

Name: Gold Dome Buildings (Buck)

Address: 2714 2nd Ave

City: Des Moines State: IA Zip Code: 50313

Email: golddomebuildings@yahoo.com Phone: 515-243-8554

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Email: \_\_\_\_\_ Phone: \_\_\_\_\_

Electrical Contractor Name: \_\_\_\_\_ Phone: 515 202 1848

A-Wye Electric State License #: MA2753

Plumbing Contractor Name: \_\_\_\_\_ Phone: \_\_\_\_\_

State License #: \_\_\_\_\_

Mechanical Contractor Name: \_\_\_\_\_ Phone: \_\_\_\_\_

State License #: \_\_\_\_\_



**#4c -  
WRITTEN COMMENTS RECEIVED BY STAFF  
PRIOR TO HEARING**

No written comments received as of 1:30pm on Wednesday, May 28, 2025

Staff will update at the meeting if comments received

## **#4d- PUBLIC INPUT**

## **#4e - APPLICANT CLOSING SUMMARY**

## **#4f - CITY CLOSING SUMMARY**

# Agenda Item #4g - CLOSED

## Public Hearing for a Variance Request

Sample Language:

**City Clerk:** *I would entertain a motion to close the public hearing.*

Board Member: \_\_\_\_\_ ***So moved.***

Board Member: \_\_\_\_\_ ***Second.***

**City Clerk:** Carter - \_\_\_\_; Anderson - \_\_\_\_; Lyons - \_\_\_\_; Young - \_\_\_\_; Doremus - \_\_\_\_.

**City Clerk:** *The public hearing is now closed at \_\_\_\_\_pm.*

**There will be no further discussion with the public on this matter.**

# Agenda Item #5

Discussion and Action:

VARIANCE Request - 409 Pleasant Street

Submitted for: **Discussion**

Board Members, the Applicant and City Staff discussion to ensue regarding the variance request. **There is no public interaction during the discussion and action.**

**The decision of the Board is final. It cannot be overturned by the City Council.**

**City Clerk:** Do I hear a motion?

**Sample Motion:** I move to (grant / deny) the request for an \_\_\_\_ foot front setback variance pertaining to construction of a new garage at 409 Pleasant Street, Van Meter, IA, 50261 by Lori Hagen.

**Board Member** \_\_\_\_\_: *So moved.*

**Board Member** \_\_\_\_\_: *Second.*

**City Clerk:** Carter\_\_\_\_ Anderson\_\_\_\_ Lyons \_\_\_\_ Young \_\_\_\_ Doremus\_\_\_\_



# Agenda Item #6 - OPEN

## Public Hearing for a Variance Request

Sample Language:

**City Clerk:** *I would entertain a motion to open the public hearing.*

Board Member: \_\_\_\_\_ **So moved.**

Board Member: \_\_\_\_\_ **Second.**

**City Clerk:** Carter - \_\_\_\_; Anderson - \_\_\_\_; Lyons - \_\_\_\_; Young - \_\_\_\_; Doremus - \_\_\_\_.

**City Clerk:** *The public hearing is now open at \_\_\_\_\_pm.*

## **#6a - CITY REPORT**

The City received the building permit for driveway approach and garage on November 13, 2024. The permit, garage plans from Cleary and site plan were submitted to V&K for review and approved on November 14, 2024. Payment for the permit was received on December 18, 2024. The driveway, approach and garage are part of an entire parcel remodel including a permitted renovation of a deteriorating existing residence with no garage.

The City received a Right of Way permit & payment on April 4, 2025 prior to construction of the driveway approach.

On Monday, May 12, 2025, after framing of the garage had started, the City received a verbal complaint from a resident about the material of siding & roofing to be used on the garage. Upon review, the permit for the garage was approved erroneously and the metal siding & roofing is non-compliant with the City's zoning code (Chapter 165.04) which requires that garage accessory buildings must be the same material as the principal building/dwelling. The property owner was informed and submitted an application for variance from Board of Adjustment at the instruction of the City's Building Official/Zoning Administrator.

The City was notified by the property owner on May 22 that despite instruction to not proceed past framing, partial installation of the siding & roofing had started but he had again instructed them to stop immediately.

The request for variance is to allow construction of a metal sided/roofed garage in the R2 zoning district.



TO: Neighboring Property Owners

FROM: Jessica Drake, City Clerk

DATE: May 16, 2025

SUBJECT: Application for Variance before the Board of Adjustment for a property located in the R-2 Zoning District of the City of Van Meter

Notice of a Public Meeting – Van Meter Board of Adjustment

Notice is hereby given that the Van Meter Board of Adjustment will hold a public hearing on **Thursday, May 29, 2025 at 6:00pm** at City Hall located at 310 Mill Street in Van Meter, Iowa to consider a request for variance from DAN CORNELISON, property owner of 605 Elm Street, Van Meter, IA 50261.

The property owner has submitted an application for Variance to Section 165.04(f) for the property located at 605 Elm Street, Van Meter, IA 50261. The property is located in the R-2 Zoning District as defined by the Van Meter Code of Ordinances, Chapter 165 Zoning Regulations. The property owner submitted a building application to construct & install a detached garage with metal siding & roofing. The code reads "Materials used for the roofing and siding of the accessory building must be the same material as that used for the main residential building or dwelling."

Any party of interest may appear at the hearing or by legal counsel to express their views in support or against granting the request for variance. Written comments shall be received by the City Clerk no later than 4:00pm on Thursday, May 29, 2025.

Written comments may be made by delivery to City Hall, by mail to City of Van Meter, PO BOX 160, Van Meter, IA 50261 or by email to [jdrake@vanmeteria.gov](mailto:jdrake@vanmeteria.gov).

JESSICA DRAKE CITY CLERK  
CITY OF VAN METER

<b>Name</b>	<b>Street</b>	<b>City</b>	<b>State</b>	<b>Zip Code</b>
Joe & Sherri Henderson	PO BOX 188	Van Meter	IA	50261
Cecelia Miller	625 Elm Street	Van Meter	IA	50261
Chelsea & Dan Hockenberry	627 Elm Street	Van Meter	IA	50261
Shirley & Clarence Couvillion	PO BOX 192	Van Meter	IA	50261
Chuck & Lydia Maffin	521 Elm Street	Van Meter	IA	50261
Melissa Poley	505 Elm Street	Van Meter	IA	50261
Summer McNair	305 Wilson Street	Van Meter	IA	50261
Jake & Jane Schultze	PO BOX 88	Van Meter	IA	50261
True North Concepts	1388 Dover Bay Drive	Clive	IA	50325
Diana Hockenberry	PO BOX 24	Van Meter	IA	50261
Mark Kamm	PO BOX 136	Van Meter	IA	50261
Brian Anderson	PO BOX 150	Van Meter	IA	50261
Brenda Golwitzer	PO BOX 254	Van Meter	IA	50261
Sharon Greer	PO BOX 152	Van Meter	IA	50261
Richard & Dana Booge	PO BOX 167	Van Meter	IA	50261
Marj Ragsdale	PO BOX 212	Van Meter	IA	50261
David Young	PO BOX 123	Van Meter	IA	50261
Jim Bouma & Andrea Boston	4714 Meadow Valley Drive	West Des Moines	IA	50265
Brian Parker	702 Elm Street	Van Meter	IA	50261
Doug Scott & Neva Stoll	602 Elm Street	Van Meter	IA	50261
PLS Investments	414 Wilson Street	Van Meter	IA	50261
Cindy Winchell	PO BOX 2	Van Meter	IA	50261
Catherine & Jack Dodson	PO BOX 195	Van Meter	IA	50261



**AFFIDAVIT OF PUBLICATION**


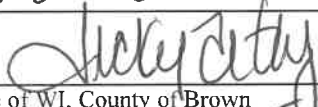
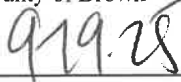
City of Van Meter  
310 Mill Street  
Van Meter IA 50261

STATE OF WISCONSIN, COUNTY OF BROWN

The Des Moines Register and Tribune Company, a newspaper printed and published in the city of Des Moines, Polk County, State of Iowa, and personal knowledge of the facts herein state and that the notice hereto annexed was Published in said newspapers in the issue:

05/18/2025

and that the fees charged are legal.  
Sworn to and subscribed before on 05/18/2025

  
\_\_\_\_\_  
Legal Clerk  
  
\_\_\_\_\_  
Notary, State of WI, County of Brown  
  
\_\_\_\_\_

My commission expires

Publication Cost:	\$38.20	
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*Please do not use this form for payment remittance.*

VICKY FELTY  
Notary Public  
State of Wisconsin

City of Van Meter Board of Adjustment  
May 29, 2025

Notice of a Public Meeting – Van  
Meter Board of Adjustment

Notice is hereby given that the Van Meter Board of Adjustment will hold a public hearing on Thursday, May 29, 2025 at 6:00pm at City Hall located at 310 Mill Street in Van Meter, Iowa to consider a request for variance from DAN CORNELISON, property owner of 605 Elm Street, Van Meter, IA 50261. The property owner has submitted an application for Variance to Section 165.04(f) for the property located at 605 Elm Street, Van Meter, IA 50261. The property is located in the R-2 Zoning District as defined by the Van Meter Code of Ordinances, Chapter 165 Zoning Regulations. The property owner submitted a building application to construct & install a detached garage with metal siding & roofing. The code reads "Materials used for the roofing and siding of the accessory building must be the same material as that used for the main residential building or dwelling." Any party of interest may appear at the hearing or by legal counsel to express their views in support or against granting the request for variance. Written comments shall be received by the City Clerk no later than 4:00pm on Thursday, May 29, 2025. Written comments may be made by delivery to City Hall, by mail to City of Van Meter, PO BOX 160, Van Meter, IA 50261 or by email to [jdrake@vanmeteria.gov](mailto:jdrake@vanmeteria.gov).

JESSICA DRAKE  
CITY CLERK  
CITY OF VAN METER  
May 18 2025  
LIOW0298177

#### **165.04 GENERAL REGULATIONS.**

1. Conformance. The regulations herein set forth shall be minimum regulations, applying uniformly to each class or kind of structure or land.

A. No land, building, or structure shall hereafter be used or occupied, and no building or structure or part thereof shall hereafter be erected, constructed, reconstructed, or structurally altered which does not conform to the regulations of the district in which it is located.

B. No building or structure shall hereafter be erected or altered: (i) to exceed the height; (ii) to accommodate or house a greater number of families or persons; (iii) to occupy a greater percentage of lot area; (iv) to have less than minimum, in area or dimension, front yards, side yards, rear yards, or other open spaces; or (v) in any manner contrary to the provisions of this chapter.

C. No yard or lot existing at the time of passage of this chapter shall be changed in dimension or area to the extent that it no longer meets the requirements set forth herein. Yards or lots created after the effective date of the Zoning Ordinance shall meet at least the minimum requirements set forth herein.

D. Modular homes, manufactured homes, and mobile homes converted to real property and taxed as real estate, when placed on private property, shall have permanent frost depth footings of a perimeter foundation type or columns/piers and permanently anchored to prevent wind uplift and turnover, as specified in the Building Codes. The vertical space between the perimeter of the first floor and grade level shall be infilled with like material as utilized in site built construction with permanent frost depth footings and foundations.

E. A residence shall contain at least one entry on the street from which the property's address is determined. Such entry is not required to be the primary entry.

2. Nonconformance. Where, at the effective date of adoption or amendment of the Zoning Ordinance, lawful use of land structures, or buildings exist that are made no longer permissible under the terms of such Ordinance as enacted or amended, such use, structure, or building may continue so long as it remains otherwise lawful, subject to the following provisions:

A. No such nonconforming use shall be enlarged, increased, or extended to occupy a greater area of land than was occupied at the effective date of adoption or amendment of the Zoning Ordinance; nor may any building or structure be enlarged or altered in a way which increases or substitutes its nonconformity.

B. No such nonconforming use, structure or building shall be moved in whole or in part to any other portion of the lot or parcel occupied by such use at the effective date of adoption or amendment of the Zoning Ordinance.

C. If any such nonconforming use of land ceases for any reason for a period of more than six months, any subsequent use of such land shall conform to the regulations specified by this chapter for the district in which such land is located.

D. No such nonconforming structure, if destroyed by an act of God to an extent of more than 85 percent of its replacement cost at time of destruction, shall be reconstructed except in conformity with the provisions of this chapter.

E. Where nonconforming use status applies to a structure and premises in combination, removal or destruction of the structure shall eliminate the nonconforming status of the land.

F. Any building or structure devoted to a nonconforming use with a fair market value of less than \$500.00, as determined by the Board of Adjustment, may be continued to a period not to exceed three years after the enactment of the regulations, whereupon such nonconforming use shall cease and thereafter such building or structure shall be removed or changed to a conforming use.

Nothing in this chapter shall be deemed to prevent the strengthening or restoring to a safe condition of any building or part thereof declared to be unsafe by any official charged with protecting the public safety, upon order of such official.

3. Street Frontage. No lot shall contain any building used in whole or part for residence purposes unless such lot abuts on at least one street for at least the minimum width at the minimum front yard depth from the street.

4. Accessory Buildings. No accessory building structure or garage that exceeds six feet in height shall be erected, except as provided hereinafter:

A. Accessory buildings, including roof overhangs, shall be at least three feet from lot lines of adjoining lots in any R District. An accessory building within 60 feet of the front yard line shall have a full side yard between it and the side lot line. On a corner lot the accessory building shall conform with the setback regulations of the principal building.

B. Accessory buildings may be erected as part of the principal building or may be connected thereto by a breezeway or similar structure. Such connected accessory buildings shall be considered as part of the principal building for all yard requirements.

C. Accessory buildings shall be at least five feet from any other separate building or structure on the same lot.

D. Any accessory building, including a garage, located in any R District shall comply with the applicable front yard setback for the principal building.

E. Accessory buildings and structures which are constructed above the normal ground surface in any required yard area shall not occupy more than 30 percent of the yard area in which it is located; however, this regulation shall not be

interpreted to prohibit the construction of a garage not to exceed 625 square feet of gross building area.

F. A garage accessory building in any R District shall not exceed 20 feet in height to the highest measured point of the garage accessory building. All other accessory buildings in a residential use in any R District shall not exceed 12 feet in height to the highest measured point of the accessory building, and no accessory building shall exceed the highest measured point of the main residential building or dwelling. Materials used for the roofing and siding of the accessory building must be the same material as that used for the main residential building or dwelling. If the siding of the main residential building or dwelling is brick, stucco, or a materials not available, not longer produced, the accessory building siding may be hard wood panel, lap siding, or simulated vinyl or steel lap siding with the same, blending or matching color to the main residential building or dwelling.

5. Corner Lots. For corner lots, platted or of record after the effective date of the Zoning Ordinance, the front yard regulation shall apply to both yards abutting a street right-of-way. The side yard setback on a reversed corner lot shall not be less than the front yard setback of the interior lot to the rear of said reversed corner lot.

6. Building Lines on Approved Plats. Whenever the plat of a land subdivision approved by the Planning Commission and on record in the office of the County Recorder shows a setback building line along the frontage for the purpose of creating a front yard or side street yard line, the building line thus shown shall apply along such frontage in place or any other yard line required in this chapter unless specific yard requirements in this chapter require a greater setback.

7. Division of Property by District Boundaries. When one parcel of property is divided into two or more portions by reason of different zoning district classifications, each of these portions shall be used independently of the others in respective zoning classification, and for the purpose of applying the regulations of this chapter, each portion shall be considered as if in separate and different ownership.

8. Number of Uses on One Lot. No lot shall contain more than one principal use.

9. Conversion of Dwelling. The conversion of any building into a dwelling, or the conversion of any dwelling so as to accommodate an increased number of dwelling units or families, shall be only within a district in which a new building for similar occupancy would be permitted under the zoning regulations, and only when the resulting occupancy will comply with the requirements governing new construction in such district with respect to minimum lot size, lot area per dwelling unit, dimensions of yards and other open spaces and off-street parking.

10. Minimum Floor Area. Excluding porches, garages, steps, or exterior walls, no dwelling shall contain less in square feet floor area than provided by the following schedules:

A. Single-family detached structures (floor area on ground level):

Number of Floors	Square Feet
1	800
2 or more	600

B. All other dwelling structures (square feet excluding all common areas and common walls):

Number of Bedrooms	Square Feet
0	420
1	520
2	600
3	730
4	870

11. Essential Services. Essential services, including (but not limited to) telephone or other communications, electric power, gas, water, and sewer lines or facilities, including attendant poles, tower, wires, cables, conduits, vaults, laterals, pipes, mains, valves, or other distributing equipment, shall be permitted as authorized and regulated by law and other regulations of the City, it being the intent hereof to exempt such essential services from the application of the regulations.

12. Architectural Design and Treatment of Buildings. In order to maintain character, continuity and enhance physical appearance, the following standards shall apply to zoning districts C-0 (nonresidential uses), C-1, C-2, I-1 and 1-2 unless noted otherwise in this chapter. In the event that any of the standards below conflict with other standards, regulations, or requirements of federal, State, County laws or regulations, or as outlined elsewhere within this City Code, the more restrictive regulation shall apply.

A. Façades. All principal and accessory buildings must be constructed so that the primary building face has as its covering natural materials, rather than simulated or synthetic materials. Natural materials include, but are not limited to, stone, stone facing, brick, wood, stucco, clay tile, ceramic tile, quarry tile, terra cotta, and cut stone. Rough-faced concrete block may be used for an exterior surface where concrete block is the only option because of existing structural conditions

or requirements. Materials to be excluded include, but are not limited to, plain concrete block, plain precast, fiberglass, simulated brick and stone, vinyl siding, metal siding and Masonite panels. If the underlying building is constructed using either metal or concrete form walls, the metal or concrete portion of the external primary building face must be completely covered with natural materials.

B. Exclusions. This chapter excludes that portion of the primary building face that contains manufactured window frames, window glass, door frames and doors.

C. Awnings. Awnings are allowed on any building consistent with other City codes and requirements. Any awning extending over a public sidewalk or passageway shall require a building permit with a condition of issuance being the Zoning Administrator's determination that the proposed awning complies with the appropriate snow loading standard determined to be appropriate by said administrator.

D. Waiver of Requirements. Any one or more of the requirements set forth herein may be waived by the Planning and Zoning Commission for reasons of safety or engineering, as the Commission may determine. No waiver shall be authorized or permitted for relief from any of the requirements for reasons related primarily to the costs of compliance or aesthetic preferences. Any person seeking a waiver under this section shall submit a written application to the Commission which shall include a detailed description of the safety or engineering need for a waiver.

E. Exception. The provisions of this section shall be applicable in the BP-1 District, except the building façade materials allowed are those set forth in this paragraph. The exterior walls of each building shall be constructed of permanent durable architectural materials. The front façade and each façade facing a street shall incorporate brick, stone, architectural block, architectural concrete panels, architectural wood, architectural steel, glass, or similar materials in the design. Façade materials required for the front façade and street side façades shall be continued for not less than 20 feet on each side adjoining a front façade or street side façade. All other sides of the building shall be constructed and finished in an attractive manner in keeping with the generally accepted standards for a high quality commercial/industrial development. Unfaced concrete block and non-architectural steel shall not be permitted.

F. Exception. The provisions of this section shall not be applicable to any buildings located in an MU District.

13. Visibility at Intersection in Residential Districts. On a corner lot in any residential district, nothing shall be erected, placed, planted, or allowed to grow in such a manner as materially to impede vision between a height of two and one-half and 10 feet above the centerline grades of the intersection streets in the area bounded by the street lines 40 feet from the point of intersection.



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## 605 Elm - Garage Roof & siding

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**From** Jason VanAusdall <jvanausdall@v-k.net>

**Date** Mon 5/12/2025 2:46 PM

**To** Elizabeth (Liz) Faust <lfaust@vanmeteria.gov>; Jess Drake <jdrake@vanmeteria.gov>; Chris Campbell <ccampbell@v-k.net>; Adam Holiday <aholiday@v-k.net>; Joe Herman <jherman@vanmeteria.gov>

All,

It has come to our attention that this new garage does not meet the city code:  
165.04

A garage accessory building in any R District shall not exceed 20 feet in height to the highest measured point of the garage accessory building. All other accessory buildings in a residential use in any R District shall not exceed 12 feet in height to the highest measured point of the accessory building, and no accessory building shall exceed the highest measured point of the main residential building or dwelling. Materials used for the roofing and siding of the accessory building must be the same material as that used for the main residential building or dwelling. If the siding of the main residential building or dwelling is brick, stucco, or a materials not available, not longer produced, the accessory building siding may be hard wood panel, lap siding, or simulated vinyl or steel lap siding with the same, blending or matching color to the main residential building or dwelling.

I have spoken with the applicant (Dan Cornelison today – 2:40PM) and informed him.  
I also requested he not install the metal material just in case BOA does not grant his request.  
He will be setting up a BOA meeting ASAP.

I also thanked him for renovating the home that needed so much attention.

If this code section is an old one, I would recommend it go to P&Z then on to council for any changes.

**Jason VanAusdall, CBO**



6775 Vista Dr.  
West Des Moines, Iowa 50266  
515-225-8000 (o)  
515-850-2964 (d)  
515-270-2449 (c)



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## Accessory Structures

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From Dave Hockett <david.hockett@bolton-menk.com>  
Date Tue 5/13/2025 8:19 AM  
To Jess Drake <jdrake@vanmeteria.gov>  
Cc Frannie Nielsen <frannie.nielsen@bolton-menk.com>

Jess,

Many of the community's I'm familiar with have that requirement or something similar for the accessory buildings (garages), across the board regardless of age of neighborhood, so the VM code as I read it is not unreasonable. I have seen codes that allow detached garages under a certain size to be constructed with any exterior material, and garages over a specific size required to have an exterior material similar to or compatible with the primary structure of the lot, that is designed more for the really large accessory garages that some folks want to erect.

*4. Accessory Buildings. No accessory building structure or garage that exceeds six feet in height shall be erected, except as provided hereinafter:*

*A. Accessory buildings, including roof overhangs, shall be at least three feet from lot lines of adjoining lots in any R District. An accessory building within 60 feet of the front yard line shall have a full side yard between it and the side lot line. On a corner lot the accessory building shall conform with the setback regulations of the principal building.*

*B. Accessory buildings may be erected as part of the principal building or may be connected thereto by a breezeway or similar structure. Such connected accessory buildings shall be considered as part of the principal building for all yard requirements.*

*C. Accessory buildings shall be at least five feet from any other separate building or structure on the same lot.*

*D. Any accessory building, including a garage, located in any R District shall comply with the applicable front yard setback for the principal building.*

*E. Accessory buildings and structures which are constructed above the normal ground surface in any required yard area shall not occupy more than 30 percent of the yard area in which it is located; however, this regulation shall not be interpreted to prohibit the construction of a garage not to exceed 625 square feet of gross building area.*

*F. A garage accessory building in any R District shall not exceed 20 feet in height to the highest measured point of the garage accessory building. All other accessory buildings in a residential use in any R District shall not exceed 12 feet in height to the highest measured point of the accessory building, and no accessory building shall exceed the highest measured point of the main residential building or dwelling. Materials used for the roofing and siding of the accessory building must be the same material as that used for the main residential building or dwelling. If the siding of the main residential building or dwelling is brick, stucco, or a materials not available, not longer produced, the accessory building siding may be hard wood panel, lap siding, or simulated vinyl or steel lap siding with the same, blending or matching color to the main residential building or dwelling.*


I should also point out that the Governor recently signed [new legislation](#) ( a couple of days ago) regarding variances and approval / denial based on "practical difficulties" rather than the traditional "hardship" that most codes (including Van Meter), where the *"property owner must prove that the practical difficulties faced are unique to the property at issue and not self-created and must also demonstrate that granting the variance will not significantly alter the essential character of the surrounding neighborhood."*

Like we talked about earlier it is possible to have a “traditional zoning” for older parts of town, I’ve typically not created separate design requirements (for residential areas), but kept I more focused on reduced setbacks due to the smaller lots and allow items to be constructed that would blend into the area better with setbacks that match there neighborhood rather than having to be setback 10’ farther than everyone else and looking out of place.



**David Hockett, AICP**  
Senior Planner  
**Bolton & Menk, Inc.**

📞 [515-415-9633](tel:515-415-9633)

 tpx\_\_

---

**From:** Jess Drake <jdrake@vanmeteria.gov>  
**Sent:** Monday, May 12, 2025 7:24 PM  
**To:** Dave Hockett <david.hockett@bolton-menk.com>  
**Subject:** Planning & Zoning ??

**\*\*\* WARNING: This email is from outside the company. Proceed with Caution\*\*\***

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We have a section in our zoning code that says accessory buildings must match the residence in siding/roofing.

Is that normally something you see? Particularly in the older part of town we have a handful of garages that are like morton buildings with metal siding & roofing.

We have a situation right now where a building permit was inadvertently issued for a metal siding garage and now it's mid-construction in the original part of Van Meter - as part of an overall remodel of a 1919 house with adding a garage & driveway. A resident has complained so now the property owner has to halt instruction, is going to try to request a variance from Board of Adjustment, and prolong the project.

Which is fine, we will follow the necessary steps. I just didn't know since we had talked about looking at the zoning of original Van Meter vs the new sub-divisions.

Just thought I'd pick your brain 🧠

**Jess Drake**

City of Van Meter | City Clerk

# **APPLICANT DOCUMENTS & COMMENTS**

**Board of Adjustment Application**

Filing fee: \$15.00

Paid: 5/13/25

Receipt No.: 53500

I/We, the undersigned, do hereby request that you consider this application for:

X Variance      \_\_\_\_\_ Conditional Use      \_\_\_\_\_ Exception

to Section \_\_\_\_\_ of the Code of Ordinances.

Application Date: May 12, 2025

Address of Property: 605 Main Street 1605 Elm

The following are persons having an interest in the above-mentioned property:

Recorded Owner/s: Dan Cornelison

Mailing Address: 26819- 360th Street, Van Meter, IA 50261

Contract Purchaser/s: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Lessee/s: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

**Required Documents:**

- Site Plan
- Ground Plan or Elevations Maps
- List of names, addresses and lot numbers for all property owners within 250 feet of the exterior property lines for the property

Please respond to the following questions providing any information requested.

1. Legal description of the subject property: Lot 5, Block 7 of the Town of Van Meter, Dallas County, Iowa

2. Present zoning classification: R2

- 1) Shirley and Clarence Conville  
304 Cross St.
- 2) Sharon Greer  
324 Cross St.
- 3) Joe and Sherry Henderson  
1615 Elm
- 4) True North Concepts, LLC  
406 Main St
- 5) Jack and Jane Schultz  
321 Cross St.



3. Describe the existing uses in the immediate vicinity and explain whether the proposed variance/use would have any adverse affect on surrounding properties.

Residential

There will be absolutely no adverse effect on surrounding property. To the contrary, this dillapidated old house will now have a beautiful garage.

4. Are there any circumstances unique to the property which do not apply to other properties in the immediate vicinity, and which would result in the inability of your property to yield a reasonable return?

The house was built in 1900. I have completed a rehab of the property replacing everything except roof, Framing and Foundation. I am losing money on the project. I bought the garage from Cleary as a package for \$26,000. If I have to use different siding I am told it will cost \$5,000 - \$7,000 additional funds. The roof will cost \$3,000.

5. What hardship will result if the variance/use is not granted?

The City issued a permit. I bought the garage package with white siding and black roof, both metal. Without being able to use the metal siding and roof I have to go buy vinyl siding and black shingles, at substantial cost. Not only do I have

6. Explain why the conditional use you are requesting is necessary (if applicable).

NA

to buy new materials for the roof and siding but I waste substantial money for roof and siding I already purchased.

7. Will the proposed variance/use interfere with the development or use of the neighboring property?

No, the proposed variance will allow me to finish the upgrade of the property. This house was a disgusting eyesore in Van Meter. I have invested over \$200,000 to upgrade the property. Van Meter needs more projects like this. Many homes in Van Meter have garages with different siding and roofs than the home. All of my surrounding neighbors are excited about the improvements.

8. Please provide any additional information which supports your request.

Variance request to install a garage with metal siding & roof - variance of section 165.04 stating that materials used for roofing or siding of an accessory building must be the same as the main residence  
Building permit was approved on November 14, 2024 and paid for on December 18. Plans were submitted at the time of application.

**FOR EXCEPTIONS:**

1. Provide a description of the exception.

NA

2. As it relates to the occupants of adjoining and surrounding property, does the proposed exception adequately safeguard:

- a. Health? ☒ YES ☐ NO  
b. Safety? ☒ YES ☐ NO  
c. Welfare? ☒ YES ☐ NO

3. Does the proposed exception increase congestion in the public streets? ☐ YES ☒ NO

4. Does the proposed exception increase public danger of fire or diminish safety? ☐ YES ☒ NO

5. Does the proposed exception diminish or impair established property values? ☐ YES ☒ NO

6. Is the appellant a public service corporation? ☐ YES ☒ NO

*IMPROVES established value >*

7. Is the proposed exception for public utility purposes or for public communications? ☐ YES ☒ NO

8. Does the boundary line of a zoning district divide a lot in single ownership? ☐ YES ☒ NO

9. Does the proposed exception extend the zoning district line by more than 40 feet? ☐ YES ☒ NO

**FOR VARIANCES:**

1. Is there a limitation on the use of the property due to physical topographical and geological features? If yes, please explain.

No limitation. The 1900 built house has a complete new electrical, HVAC, plumbing, drywall, flooring and cabinetry. The house is white with black roof and black trim. The garage is ~~white~~ white with black roof and black trim.

2. Will this variance grant any special privilege to you? If yes, please explain.

No. Many homes in Van Meter have garages with siding and roofs that are different material than the home

3. Can you demonstrate that without a variance there can be no reasonable use of the property? If yes, please explain.

No, I cannot. The property will still be significantly more valuable than before the \$200,000 of improvements. It will cost me \$7,000 to \$10,000 more to complete

4. Is the request for a variance based solely on economic reasons? If yes, please explain.

The request is based on both economic and fairness issues. Metal roofs are very popular now. There is no valid reason to deny use of metal roofs.

5. Is the necessity for a variance created by you? If yes, please explain.

Also many homes in Van Meter have garages with roof and siding different than the home

6. Is the variance request the minimum variance necessary to allow reasonable use of the property? If yes, please explain.

Yes, the variance requested will allow the property rehab to be completed and for the property to be sold without additional cost.

7. Will granting the variance be injurious to the public's health, safety or welfare? If yes, please explain.

No. The variance will significantly improve what was a very blighted property.



8. Does the property possess one or more unique characteristics generally not applicable to similarly situated properties? If yes, please explain.

Yes. This house was built in 1900. Saving and improving this house with a garage of matching color improves all surrounding properties instead of having blighted areas.

**Present Facts, Not Conclusions** – This appeal will not be successful unless sufficient facts, not mere conclusions, are presented in this Application to justify the variance in light of the requirements of the Ordinance. As a general statement, you must show that the granting of the variance relates to the overall intent and purposes of the Zoning Ordinance and the Comprehensive Plan as a whole. These documents are available at City Hall. You are free to review them, but are not required to do so. All of the basic, required information needed is contained in this Application.

**Building Permit Still Required** – Approval of the Variance/Exception/Conditional Use by the Board of Adjustment in no way absolves the applicant from subsequently obtaining the necessary building permits or other permits from the City of Van Meter or from other applicable agencies.

ON PENALTY OF PERJURY, I DECLARE THAT THE ABOVE STATEMENTS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Ren Brulison 5/3/25  
APPLICANT Date

Van Cornelison 5/3/25  
OWNER Date

**Office Use:**

Date 5/13/25 Application Received

Date 5/16/25 Owners within 250 feet notified (list attached)

Date 5/17/25 Board of Adjustment Meeting Notice Posted

Date \_\_\_\_\_ Board of Adjustments Meeting Held

Decision: \_\_\_\_\_  
(Meeting minutes attached)

**RESIDENTIAL PERMIT TYPE:** New Construction ☐ Renovation ☒ Garage ☐ Shed ☐ Deck ☐ Pool ☐ Other ☐  
**COMMERCIAL/INDUSTRIAL PERMIT TYPE:** New Construction ☐ Renovation ☐ Other ☐

## ATTACH SITE PLAN, DRAWINGS AND/OR BUILDING PLANS

### JOB SITE INFORMATION

Project Address: 605 Elm Street  
 Applicant Name: Dan Cornelison  
 Application Date: 10/29/2024  
 Plat #: \_\_\_\_\_ Lot #: \_\_\_\_\_  
 Development Name: \_\_\_\_\_  
 Commercial ☐ Industrial ☐ Public ☐  
 Single Family ☒ Two Family ☐ Multit-Family ☐  
 Property in a flood plain? Yes ☐ No ☒ Minimum Elevation MPE

### BUILDING SQUARE FOOTAGE

Level 1 \_\_\_\_\_ Pool Size \_\_\_\_\_  
 Level 2 \_\_\_\_\_ Deck Size \_\_\_\_\_  
 Basement Finished \_\_\_\_\_ Garage 26X24  
 Basement Unfinished \_\_\_\_\_ Shed \_\_\_\_\_

### DESCRIPTION OF PROJECT

\$26,000 metal sided and metal roofed garage. See :

PDF building plans preferred 

### PERMIT FEES (to be completed by V&K)

PROJECT VALUATION	
Building	\$ <u>313.00</u>
Trades	\$ _____
Approach	\$ _____
Sewer Connection	\$ _____
Water Connection & Excise Tax	\$ _____
<b>Total Permit Fee</b>	<b>\$ <u>313.00</u></b>

### ADDITIONAL ACKNOWLEDGEMENTS

- Except as provided by law, where any work has been started prior to obtaining this permit, the regular fee should be doubled.
- This permit shall expire if work has not commenced or has been abandoned for 120 days.
- ALL WORK MUST BE INSPECTED. It is the responsibility of the permittee to call for inspections. No work shall be concealed or covered until approved by the inspector.
- The permittee acknowledges that they are proficient in the performance of the work covered by this permit.
- Complete the application and submit all required documentation (including PDF plans) to the City of Van Meter at [permits@vanmeteria.gov](mailto:permits@vanmeteria.gov). Work may only commence upon receipt of an approved permit and payment of the permit fee to the City of Van Meter.

### OWNER OR AGENT SIGNATURE

☒ Dan Cornelison Digitally signed by Dan Cornelison  
Date: 2024.11.13 13:52:59 -06'00' Date: 11/13/24

### WHEN APPROVED BELOW, THIS BECOMES A VALID PERMIT

Issued By: Chris Campbell Date: 11-14-24  
Building Official

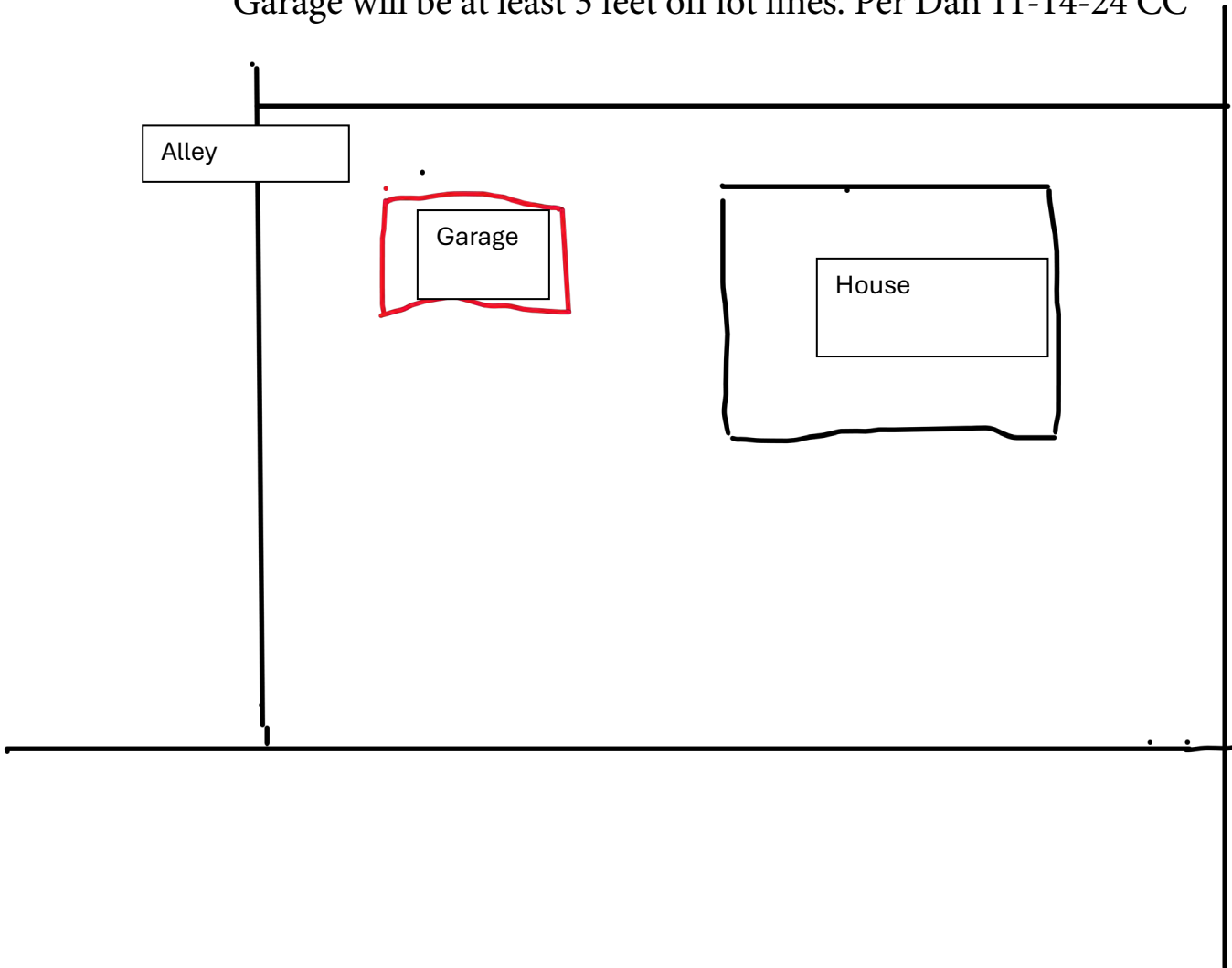
☒ Payment Received Date: 12/18/2024 Amount: \$313

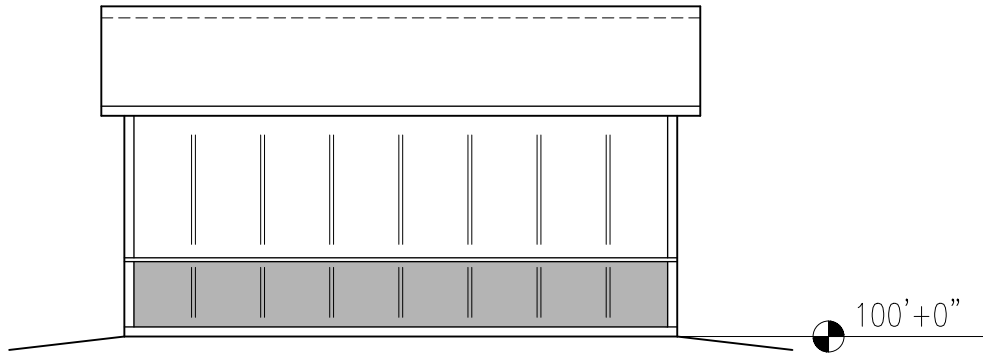
Please contact Veenstra & Kimm with any questions or to schedule an inspection. A 24 hour notice is required prior to an inspection request.

Email: [BuildingInspection@v-k.net](mailto:BuildingInspection@v-k.net) Phone: 515-850-2980

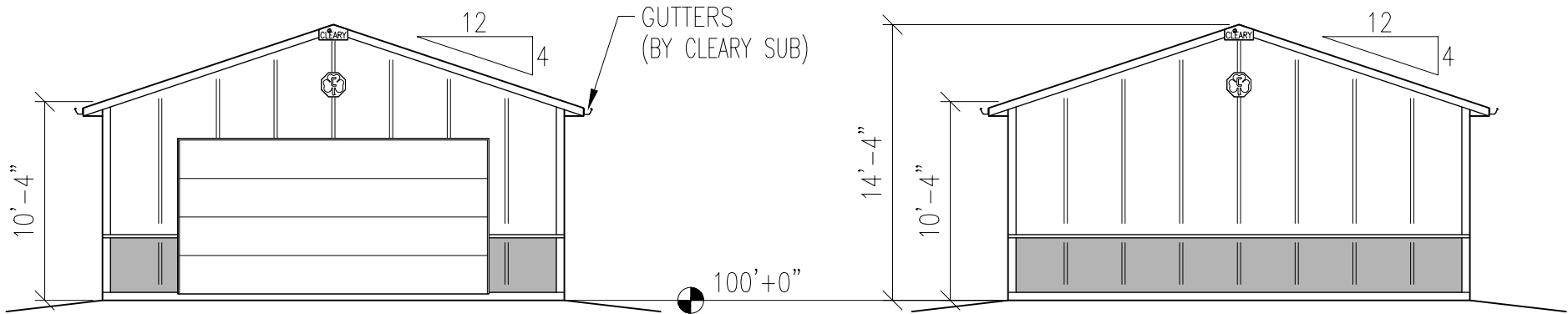


Garage will be at least 3 feet off lot lines. Per Dan 11-14-24 CC



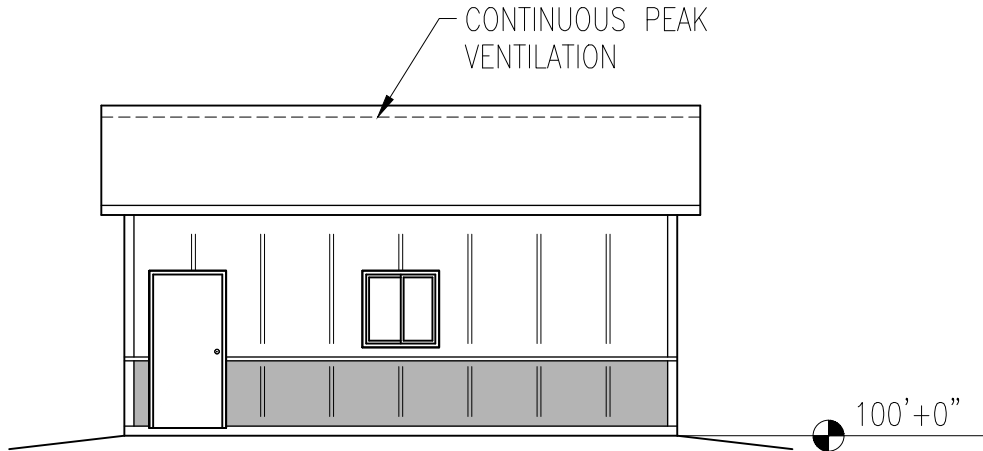


NORTH ELEVATION



WEST ELEVATION

EAST ELEVATION



SOUTH ELEVATION

GENERAL NOTES AND SPECIFICATIONS

1. The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to those materials and labor as defined by the Cleary Building Corp. contract. Additional materials or accessories that are not being provided by Cleary Building Corp. may be shown on plans for context or building code compliance.
2. All lumber, unless otherwise noted, shall be S4S #2 SPF or better.
3. Lumber embedded in, or in contact with, the ground shall be treated per AWPA standards:  
Embedded in Ground: 0.6 lbs/ft<sup>3</sup> retention  
Ground Contact: 0.4 lbs/ft<sup>3</sup> retention
4. Steel panels and flashings shall be 29 gauge, 100,000 PSI, painted galvanized.
5. All nails are to be threaded, hardened steel unless otherwise noted. Fasteners used in treated lumber shall be hot dipped galvanized stainless steel, or rated by the manufacturer for the application.
6. Soil shall be graded to provide drainage away from the building. Maintain the grade levels shown on plans around the building.
7. Fill used for concrete floor slab sub grade, if present, shall be reasonably graded granular material. Fill used in columns holes shall be the excavated soil unless noted otherwise. All fill shall be free from debris, stones over 4"Ø and frozen material.
8. Heating, ventilating, air conditioning, plumbing, and electrical work is not a part of this set of drawings and shall be installed as per applicable codes.

TABLE OF CONTENTS

- 110. ELEVATIONS
- 120. FLOOR PLAN
- 125. ROOF FRAMING PLAN
- 130. TYPICAL SECTION
- 140. TRUSS DIAGRAMS



190 PAOLI STREET / P.O. BOX 930220  
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: MICHAEL WALDERA

DATE DRAWN: 09/24/24

PLAN REVISIONS:

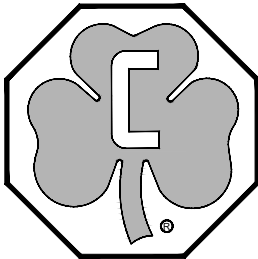
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2		
3		
4		

PROJECT NAME:  
**CORNELISON, DAN**  
PROJECT SITE ADDRESS:  
605 ELM ST  
VAN METER, IA 50261 (DALLAS)  
BUILDING SIZE:  
24' 0" x 24' 0" x 10' 4"  
SHEET NAME:  
ELEVATIONS

PROJECT NUMBER:  
**2024103894**

SHEET NUMBER:  
**110**

WHEN PRINTED ON 24"x36"  
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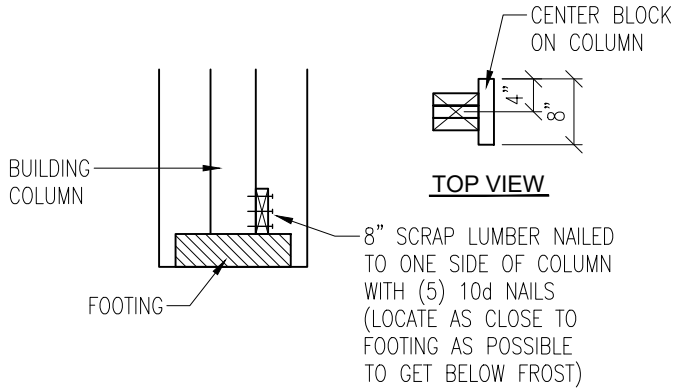
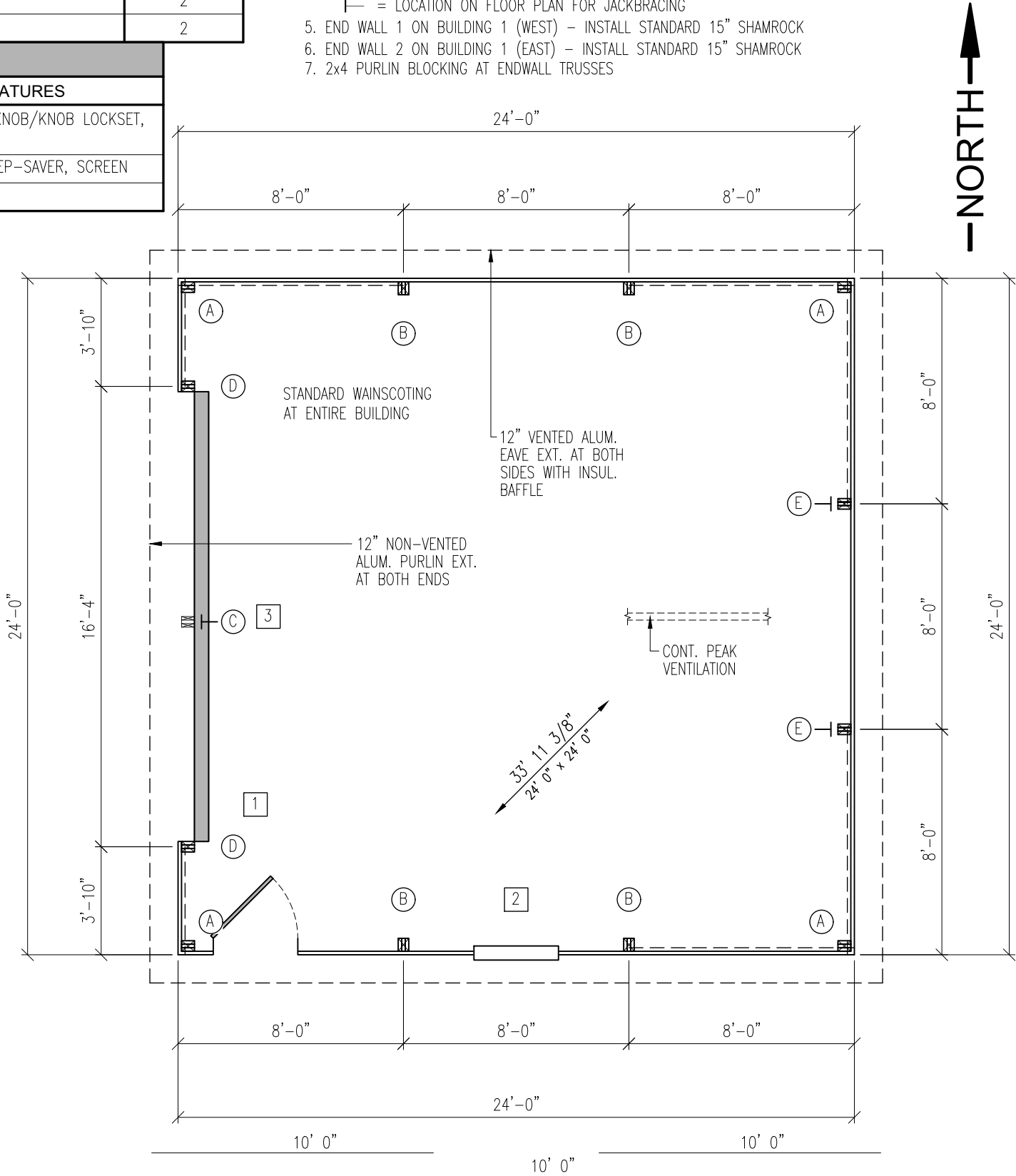


COLUMNS	COLUMN SIZE	HOLE DEPTH	HOLE DIAMETER	FOOTING SIZE	NUMBER OF COLUMNS REQUIRED
(A) CORNER	3-PLY 2x6x14'-0"	3'-10"	18"ø	4"x14"ø PRECAST CONCRETE FOOTING	4
(B) SIDEWALL	3-PLY 2x6x14'-0"	3'-10"	18"ø	4"x14"ø PRECAST CONCRETE FOOTING	4
(C) VERT. BRACE	2-PLY 2x6x5'-10"	---	---	VERTICAL BRACE B.E.=8' 5 1/2"	1
(D) FULL LENGTH	3-PLY 2x6x15'-3"	3'-10"	18"ø	4"x14"ø PRECAST CONCRETE FOOTING	2
(E) ENDWALL	3-PLY 2x6x16'-8"	3'-10"	18"ø	4"x14"ø PRECAST CONCRETE FOOTING	2

	BUILDING ACCESSORY SCHEDULE				
	ITEM	SIZE	B.E./T.E.	QTY	ROUGH OPENING & ACCESSORY FEATURES
1	SOLID WALK DOOR	3' 0"x6' 8"	B.E. =100' 4"	1	R.O. 3' 4 3/8"x6' 9 3/4", STANDARD, BRILLIANT, KNOB/KNOB LOCKSET, KEYED ALIKE
2	SINGLE HORIZ. WINDOW	3' 0"x3' 0"	T.E. = 107' 2"	1	STANDARD, BRILLIANT, INSULATED DOUBLE PANE, STEP-SAVER, SCREEN
3	OVERHEAD DOOR	16' 0"x8' 0"	B.E. =100' 4"	1	I.D. =15' 11 1/2", DOOR BY CLEARY SUB

NOTES:

- FIELD VERIFY ALL DOOR AND WINDOW ROUGH OPENING SIZES PRIOR TO INSTALLING FRAME-OUTS
- ENDWALL COLUMNS ARE 3-PLY TO THE BUILDING EAVE HEIGHT AND 1-PLY FROM THERE TO THE ROOF PLANE
- 2x4 STANDARD DIAGONAL CORNER BRACING AT ALL CORNERS (UNLESS OTHERWISE NOTED)
- 2x4 JACKBRACING AT ENDWALL COLUMNS (NOT NEEDED AT FULL LENGTH COLUMNS)  
└─ = LOCATION ON FLOOR PLAN FOR JACKBRACING
- END WALL 1 ON BUILDING 1 (WEST) – INSTALL STANDARD 15" SHAMROCK
- END WALL 2 ON BUILDING 1 (EAST) – INSTALL STANDARD 15" SHAMROCK
- 2x4 PURLIN BLOCKING AT ENDWALL TRUSSES



STANDARD COLUMN TIE DOWN DETAIL  
USE AT ALL COLUMNS UNLESS OTHERWISE NOTED



DRAWN BY: MICHAEL WALDERA

DATE DRAWN: 09/24/24

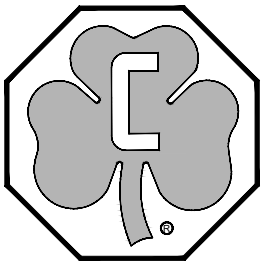
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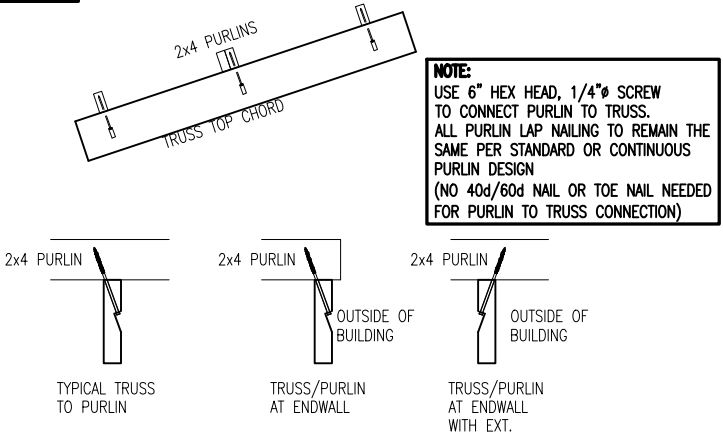
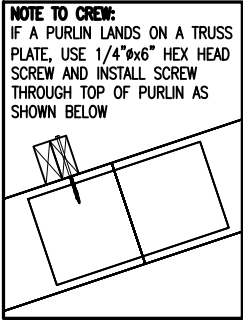
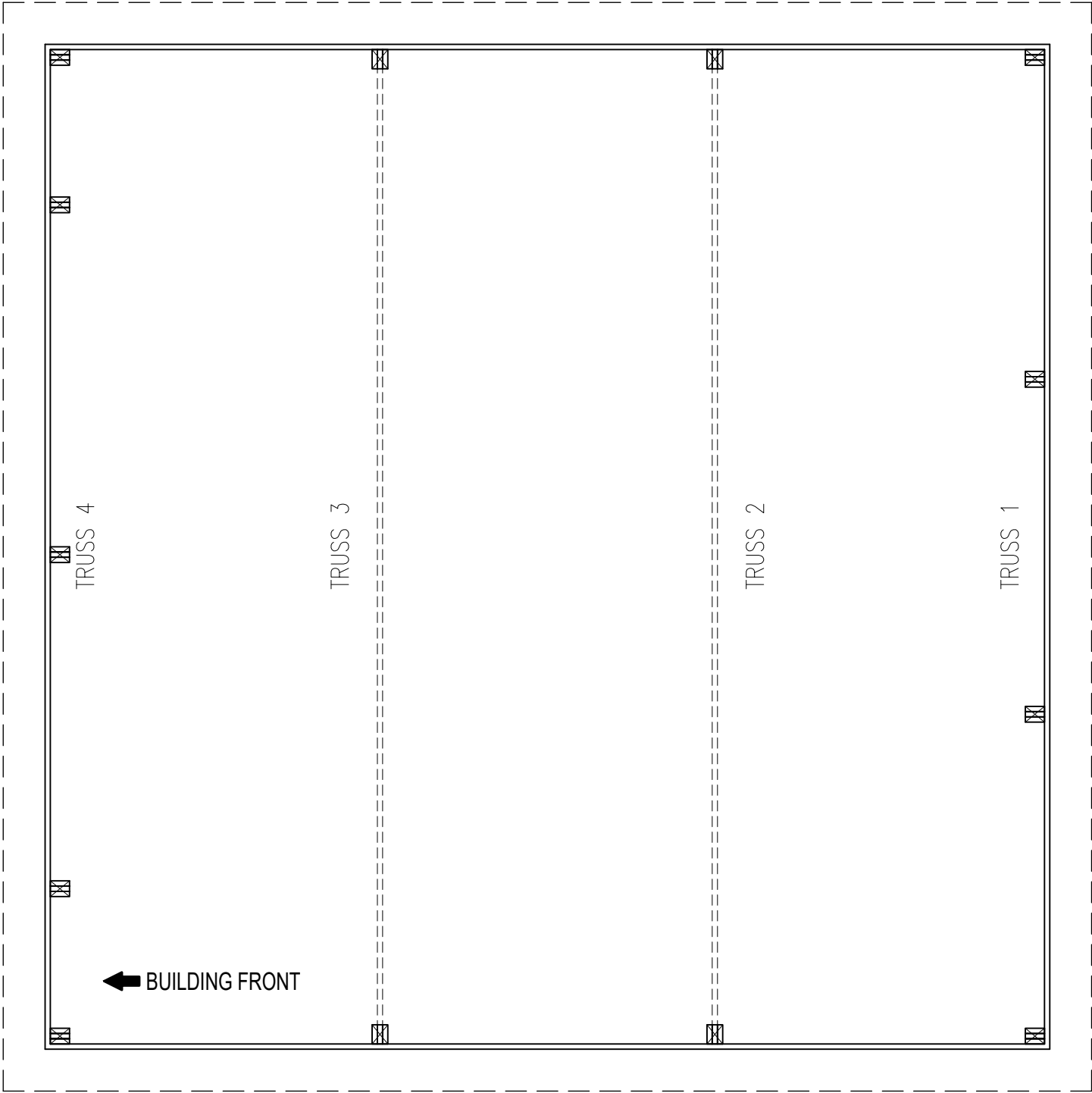
NUMBER	DATE	BY
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4		

PROJECT NAME: CORNELISON, DAN  
PROJECT SITE ADDRESS: 605 ELM ST, VAN METER, IA 50261 (DALLAS)  
BUILDING SIZE: 24' 0" x 24' 0" x 10' 4"  
SHEET NAME: FLOOR PLAN

PROJECT NUMBER: 2024103894  
SHEET NUMBER: 120

WHEN PRINTED ON 24"x36" PAPER SCALE IS N.T.S.





ALTERNATE PURLIN ATTACHMENT DETAIL

TRUSS INFORMATION			
#	DESCRIPTION	SCREW PLACEMENT	HOLE
1	23-9 EMSC 20STST 8 OC 4 TRUSS	SCREWS TO THE FRONT	HIGH
2	TA23-9EMRC20STST 8 OC 4 TRUSS	SCREWS TO THE BACK	HIGH
3	TA23-9EMRC20STST 8 OC 4 TRUSS	SCREWS TO THE FRONT	HIGH
4	23-9 EMSC 20STST 8 OC 4 TRUSS	SCREWS TO THE BACK	HIGH



190 PAOLI STREET / P.O. BOX 930220  
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: MICHAEL WALDERA

DATE DRAWN: 09/24/24

PLAN REVISIONS:

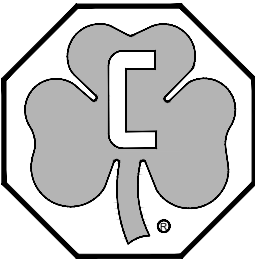
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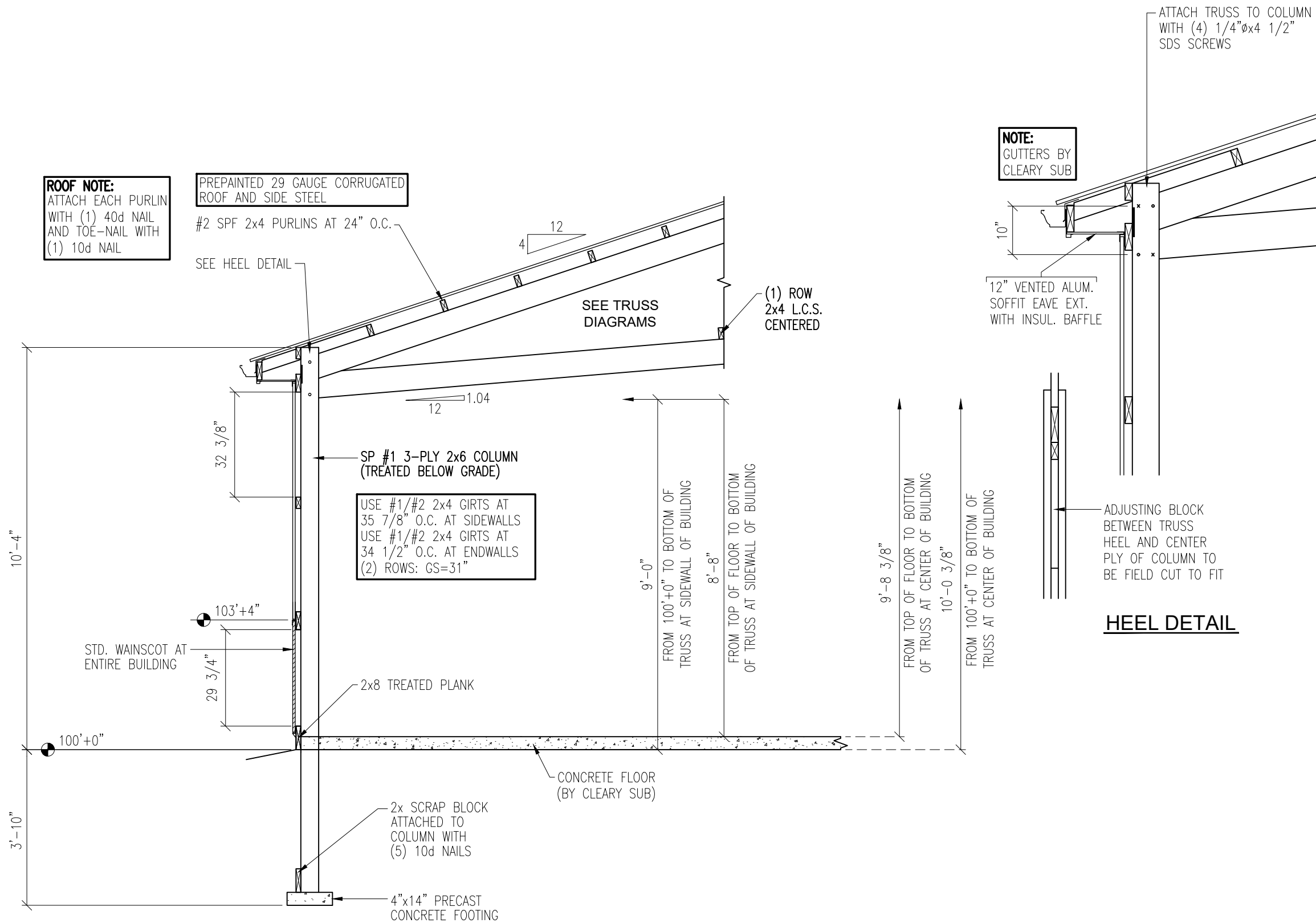
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**CORNELISON, DAN**  
PROJECT SITE ADDRESS:  
605 ELM ST  
VAN METER, IA 50261 (DALLAS)  
BUILDING SIZE:  
24' 0" x 24' 0" x 10' 4"  
SHEET NAME:  
ROOF FRAMING PLAN

PROJECT NUMBER:  
**2024103894**

SHEET NUMBER:  
**125**

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DRAWN BY: MICHAEL WALDERA

DATE DRAWN: 09/24/24

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:  
**CORNELISON, DAN**

PROJECT SITE ADDRESS:  
605 ELM ST  
VAN METER, IA 50261 (DALLAS)

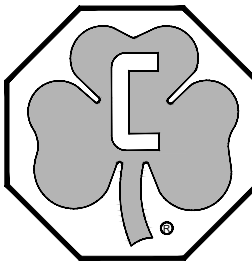
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24' 0" x 24' 0" x 10' 4"

SHEET NAME:  
TYPICAL SECTION

PROJECT NUMBER:  
**2024103894**

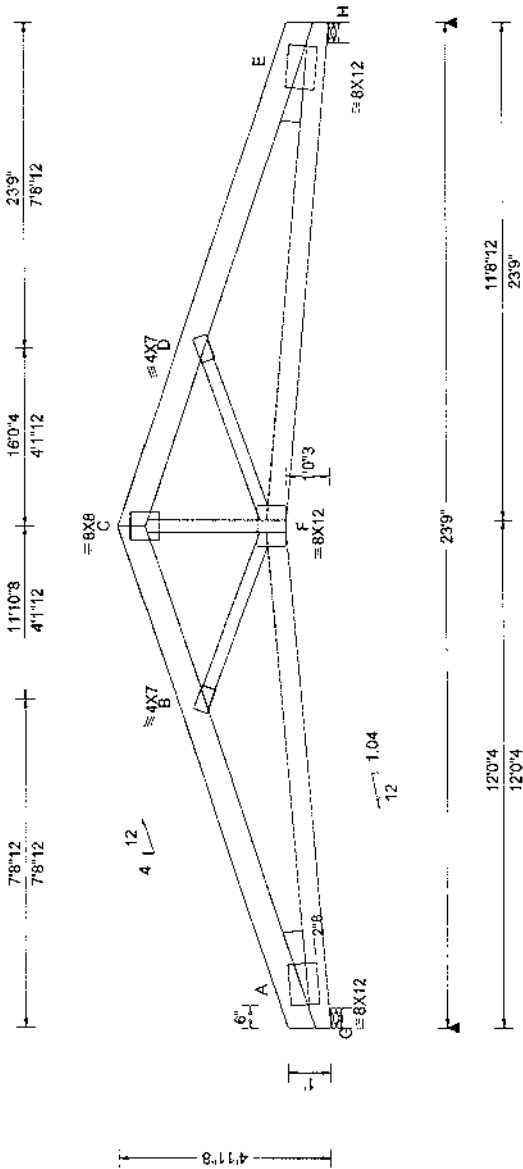
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**130**

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SEQ#: 128601 FROM: JFE	SCIS	Ply: 1 Qty: 1	Job Number: 2024103894  Truss Label: TA23-9EMRC20STST8OC4truss	Cust: R 7054 JRef: 1Y3J70540003 T2591 DrawNo: 288.24.1100.54980 / FK 09/24/2024
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<b>Loading Criteria (psf)</b> TCCL: 20.00 TCCL: 4.00 BCCL: 0.00 BCCL: 5.00 Des Ld: 29.00 NCBCCL: 0.00 Soffit: 2.00 Load Duration: 1.15 Spacing: 96.0 "		<b>Wind Criteria</b> Wind Std: ASCE 7-16 Speed: 115 mph Enclosure: Closed Risk Category: I EXP: C Kzt: NA Mean Height: 15.00 ft TCCL: 2.4 psf BCCL: 3.0 psf MWFRS Parallel Dist: 0 to h/2 C&C Dist a: 3.00 ft Loc from endwall: Any GCpf: 0.18 Wind Duration: 1.50		<b>Snow Criteria (pg,Plin PSF)</b> Pg: 25.0 Ct: 1.2 CAT: I Pf: 16.8 Lu: 12.0 Cs: 0.94 Snow Duration: 1.15 Building Code: IBC 2021 TPI Std: 2014 Rep Fac: No FT/RT/PT: 20(20)/10(10)/4(0)		<b>Defl/CSI Criteria</b> PP Deflection in loc Udefl L# VERT(TL): 0.282 F 999 240 VERT(CL): 0.411 F 683 180 HORZ(TL): 0.121 E - HORZ(CL): 0.177 E - Creep Factor: 2.0 Max TC CSI: 0.616 Max BC CSI: 0.992 Max Web CSI: 0.603 VIEW Ver: 21.01.01.0429.14		<b>Maximum Reactions (lbs)</b> Loc R+ /R- Gravity /Rh Non-Gravity /U /RL G 2771 /- /- /1034 /782 /271 H 2771 /- /- /1034 /782 /- Wind reactions based on MWFRS G Brg Wid = 5.5 Min Req = 2.3 H Brg Wid = 5.5 Min Req = 2.3 Bearings G & H are a rigid surface. Members not listed have forces less than 375# <b>Maximum Top Chord Forces Per Ply (lbs)</b> Chords Tens.Comp. Chords Tens.Comp. A - 8 2668 -6789 C - D 1704 -5702 A - 6 4704 5702 C - D 2668 -6789	
---	--	---	--	---	--	--	--	---	--

Lumber		B - C	1/04 - 3/02	D - E	2003 - 07/03
Top chord: 2x8 SP #1; Bot chord: 2x6 SP 240cf-2.0E; Webs: 2x4 SP #2; Lt Wedge: 2x6 SP #1; Rt Wedge: 2x6 SP #1;					
<b>Maximum Bot Chord Forces Per Ply (lbs)</b>					
Chords		Tens. Comp.		Chords	
Tens. Comp.		Chords		Tens. Comp.	
A - F	6298	-1768	F - E	6298	-1768

## Loading

Truss designed for unbalanced snow loads.  
Slope reduction based on Unobstructed Slippery Surface.

## Wind

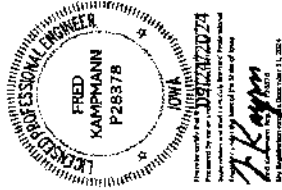
Wind loads based on MWFRS with additional C&C member design.

Wind loading based on both gable and hip roof types.

See Cleary Building Corp. drawing for bearing attachment and bottom chord bracing details.

This design applies to both open wall and enclosed wall buildings.

**In lieu of structural panels or rigid ceiling use purlins to brace TC @ 24" OC.**



**\*\*WARNING\*\*** READ AND FOLLOW ALL NOTES ON THIS DRAWING!  
**\*\*IMPORTANT\*\*** FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS  
Trusses require extreme care in fabricating, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information) by TPI and SCSA for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI unless noted otherwise. Top chord and lateral bracing shall include continuous lateral resistance (CLR) installed with diagonal bracing installed on the CLR per BCSI sections B3, B7 or B10, as applicable. Apply plates to each face of truss and position as shown above and on the Joint Details. Refer to drawings 160A-Z for standard plate positions. Refer to Job's General Notes page for additional information.  
Alpine, a division of TYP Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the trusses as shown, or any damage resulting from incorrect installation or bracing of trusses. A seal on this drawing or cover page indicating its status as a controlled document is not intended to constitute a warranty of any kind, nor does it represent approval of the drawing for any structure is the responsibility of the Building Designer per ANSI/HPS-1 Sec 2. For more information see these web sites: Alpine: alpinecmv.com; TPI: tpimstr.org; SBCA: sbccomponents.com; ICC: iccsafe.org; AWC: awc.org

**TRUSS CHECK**  
(CHECK BOX AND INITIAL)

(CHECK BOX AND INITIAL)

☒ TRUSS SIZE MWMW

☒ ROOF PITCH MW

MW

☒ BAY SPACING MW

MW

☒ SLC / RLC           MW

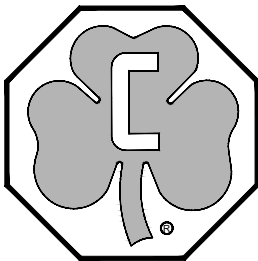
MW

☒ DESIGN LOADS      MW

MW

☒ OVERHANGS           MW

MW



190 PAOLI STREET / P.O. BOX 930220  
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: MICHAEL WALDERA

DATE DRAWN: 09/24/24

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:

CORNELISON, DAN

PROJECT SITE ADDRESS:

605 ELM ST

VAN METER, IA 50261 (DALLAS)

**BUILDING SIZE:**

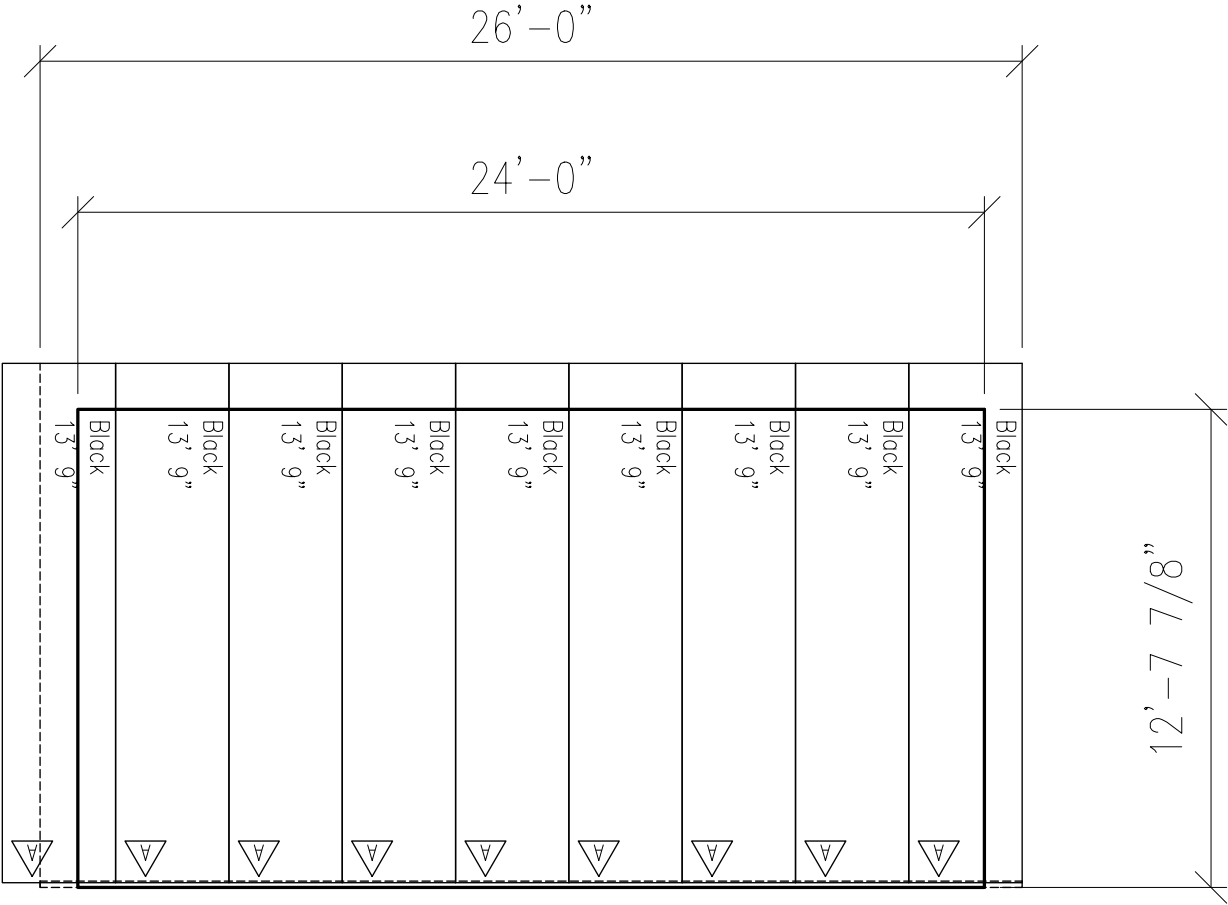
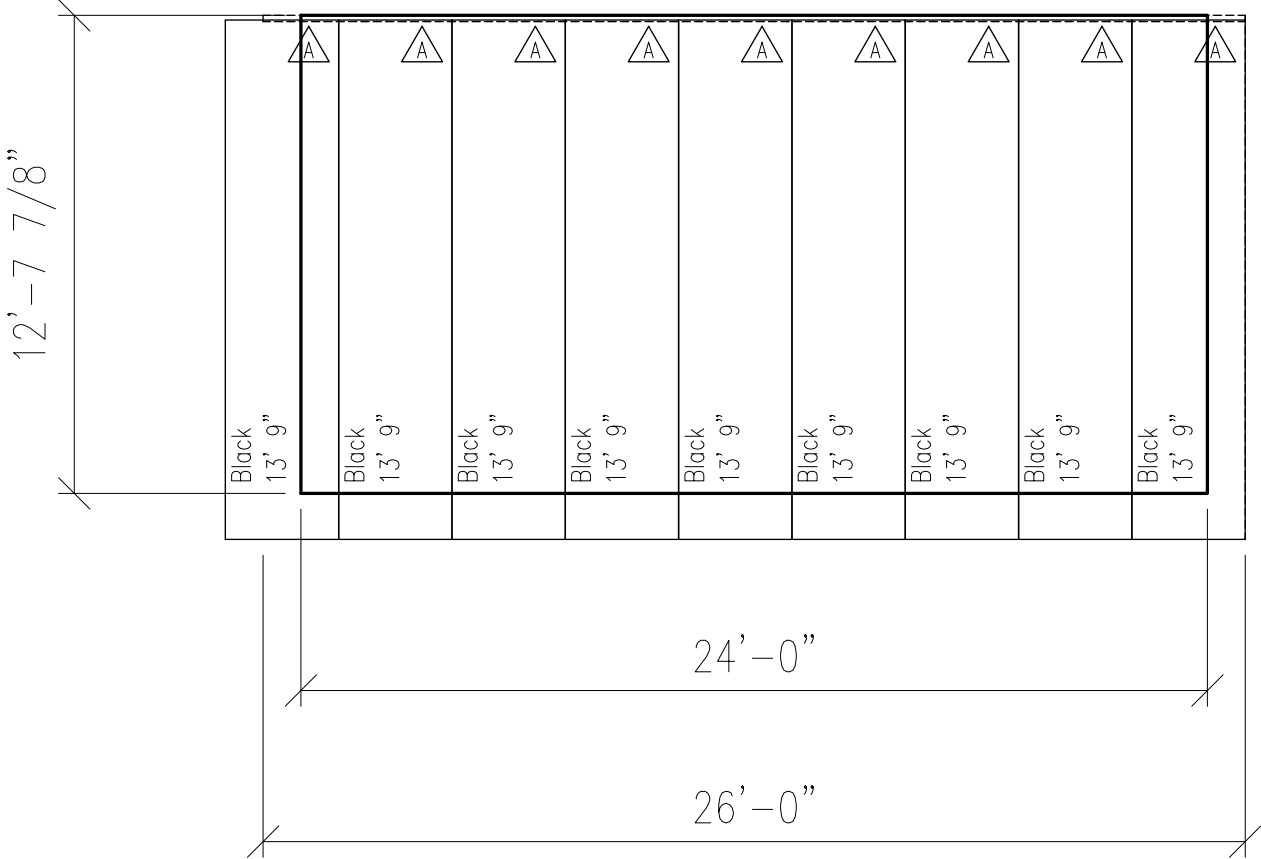
24' 0" x 24' 0" x 10' 4"

SHEET NAME:

## TRUSS DIAGRAMS

PROJECT NUMBER:  
2024103894

SHEET NUMBER:  
**140**



TRIM COLORS	
TRIM (TYP.):	Black
F&J TRIM:	Brilliant

PANEL FINISH TYPES	
A	Panel-Loc Plus - Select SMP G60



**CLEARY**  
BUILDING CORP.

190 PAOLI STREET / P.O. BOX 930220  
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: JACK BRUNSLIK		
DATE DRAWN: 10/09/24		
PLAN REVISIONS:		
NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:  
**CORNELISON, DAN**

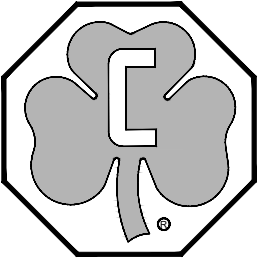
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605 ELM ST  
VAN METER, IA 50261 (DALLAS)

BUILDING SIZE:  
24' 0" x 24' 0" x 10' 4"

SHEET NAME:  
ROOF STEEL LAYOUT

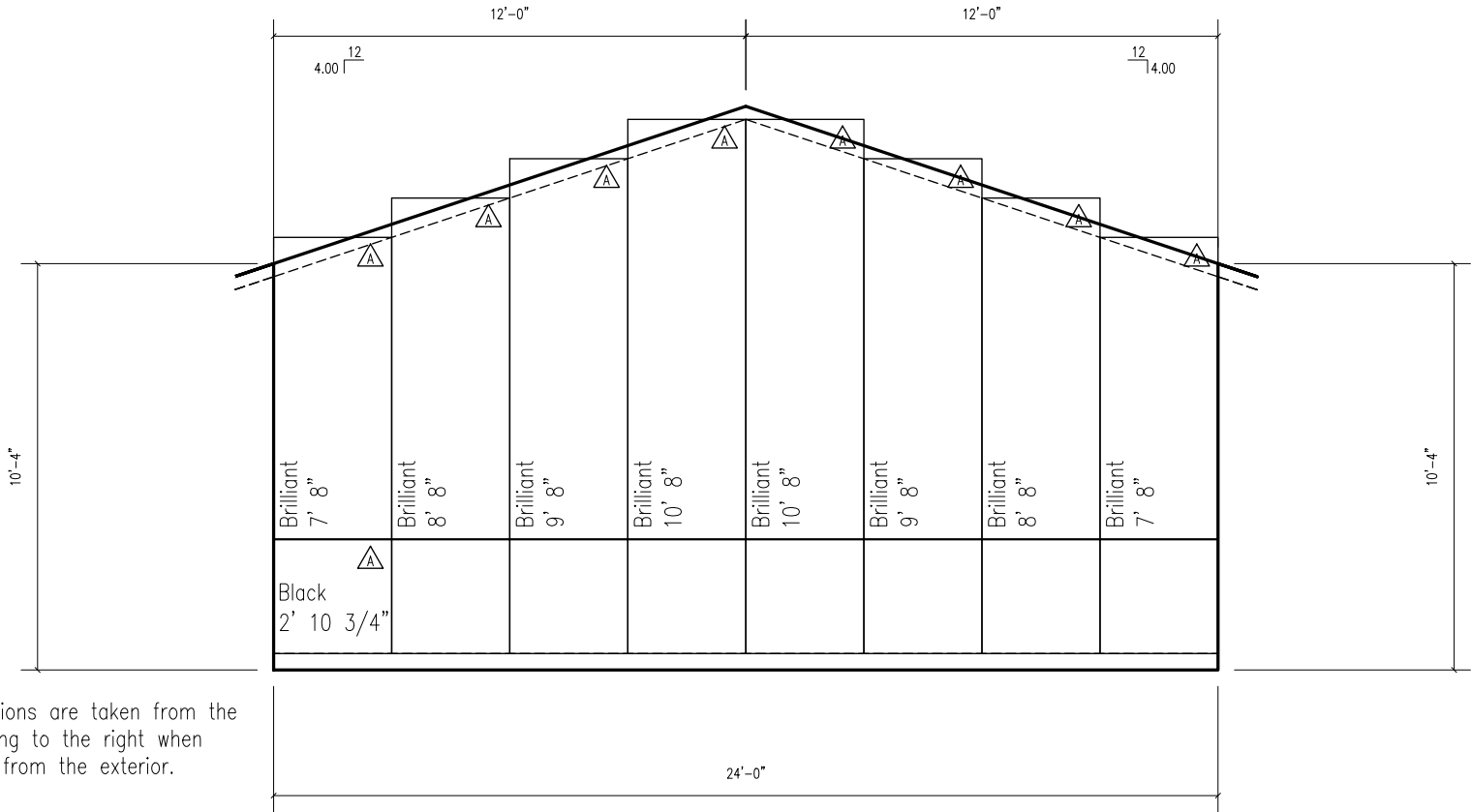
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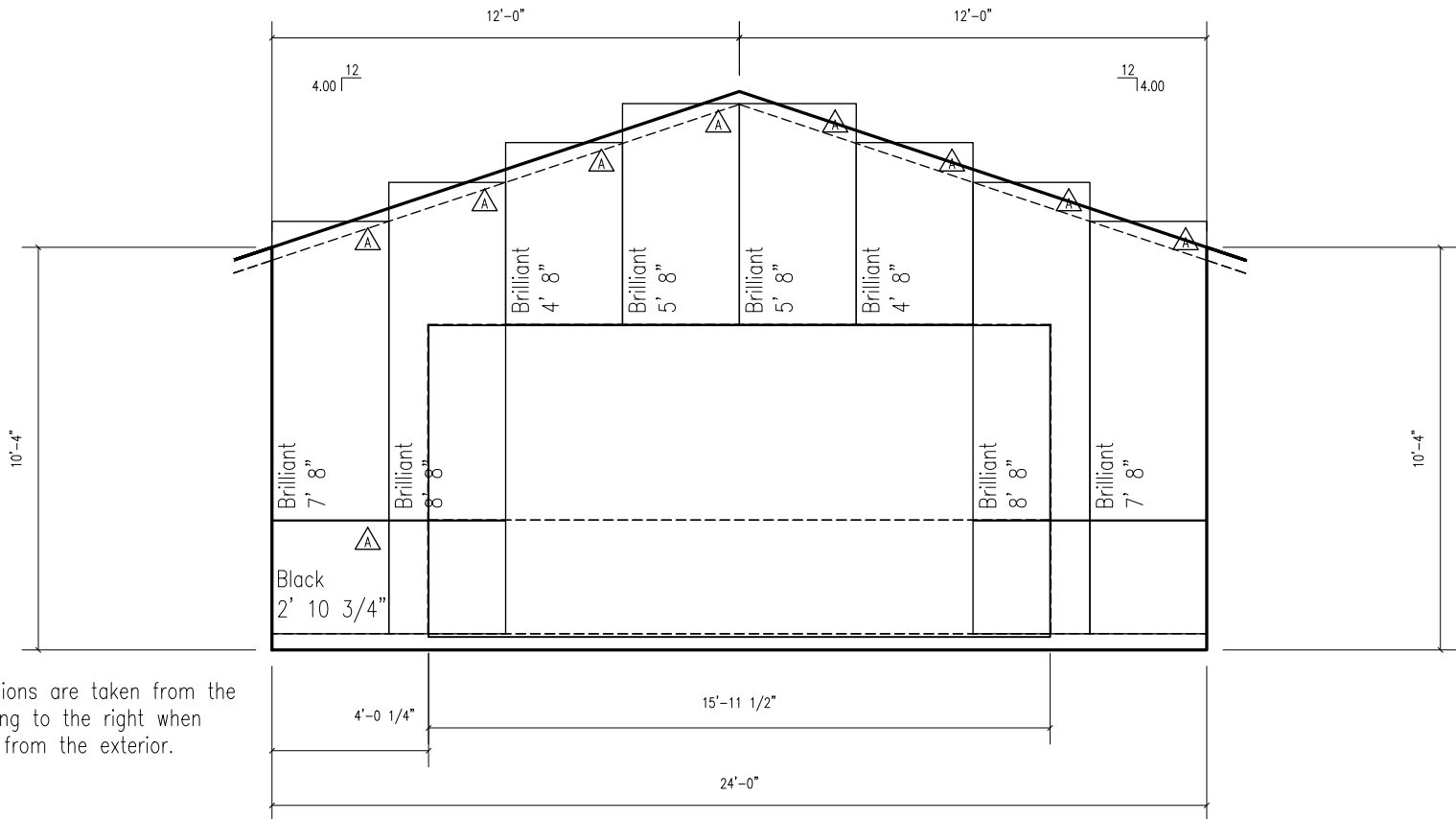


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Date Printed: 10/15/2024 1:04 PM

PANEL FINISH TYPES	
A	Panel-Loc Plus - Select SMP G60



NOTE: All dimensions are taken from the left corner working to the right when viewing the wall from the exterior.



NOTE: All dimensions are taken from the left corner working to the right when viewing the wall from the exterior.



190 PAOLI STREET / P.O. BOX 930220  
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: JACK BRUNSLIK

DATE DRAWN: 10/09/24

PLAN REVISIONS:

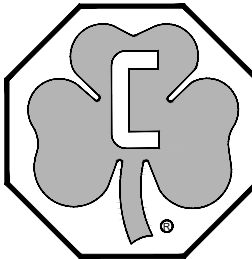
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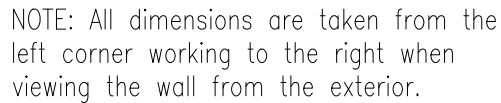
PROJECT NAME:  
**CORNELISON, DAN**  
PROJECT SITE ADDRESS:  
605 ELM ST  
VAN METER, IA 50261 (DALLAS)  
BUILDING SIZE:  
24' 0" x 24' 0" x 10' 4"  
SHEET NAME:  
STEEL LAYOUT

PROJECT NUMBER:  
**2024103894**

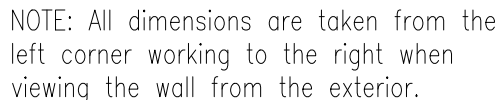
SHEET NUMBER:  
**151**

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NOTE: All dimensions are taken from the left corner working to the right when viewing the wall from the exterior.



## PANEL FINISH TYPES

A

Panel-Loc Plus  
Select SMP G60

190 PAOLI STREET / P.O. BOX 930220  
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: JACK BRUNSLIK

DATE DRAWN: 10/09/24

### PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME: CORNELISON, DAN

**PROJECT SITE ADDRESS:**

605 ELM ST

VAN METER, IA 50261 (DALLAS)

**BUILDING SIZE:**

24' 0" x 24' 0" x 10' 4"

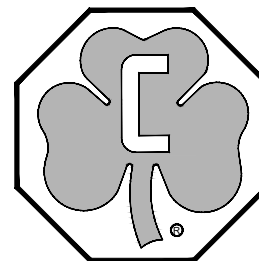
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STEEL | AYOIT

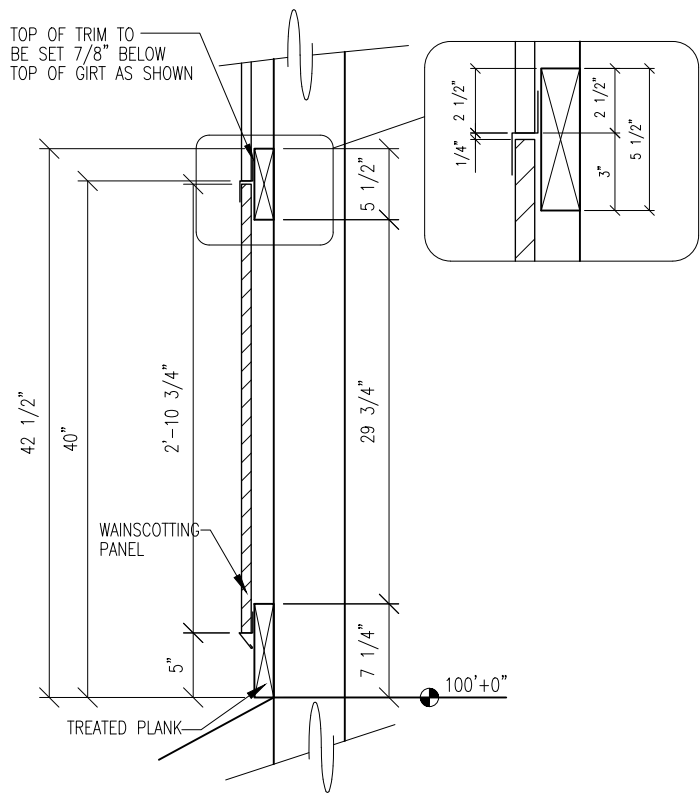
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SHEET NUMBER  
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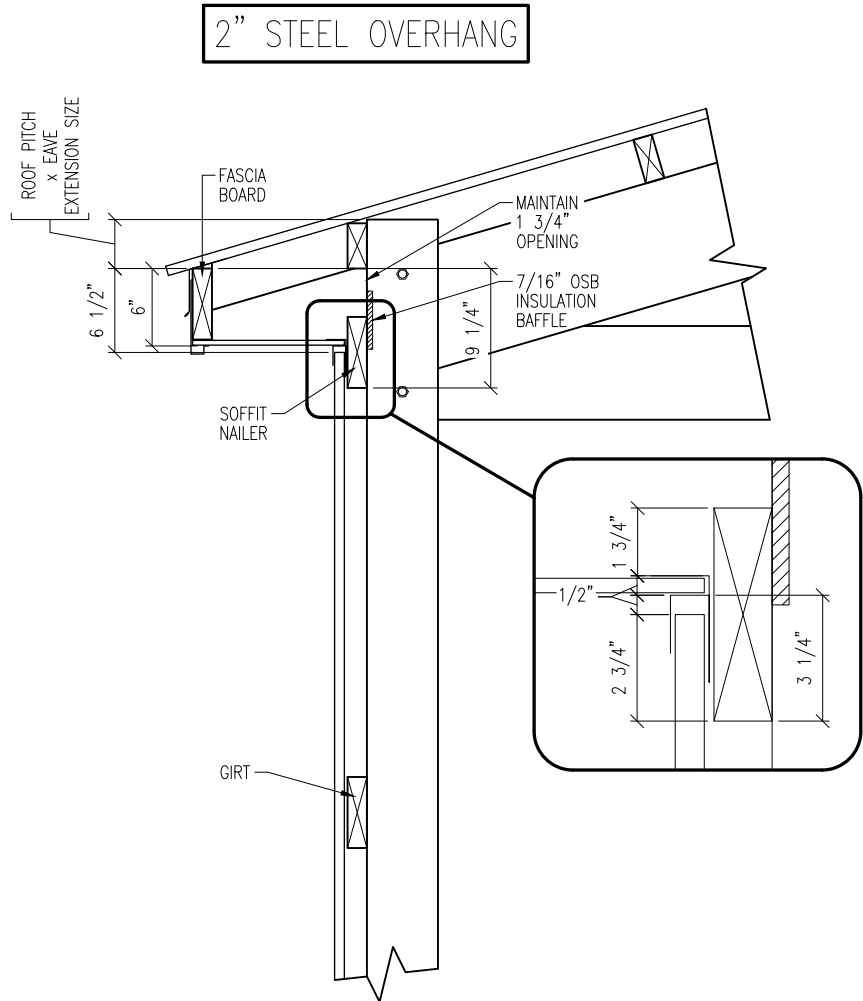
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File Name and Path: \\ClearyShares\\Eng\\Commercial\\CAD FILES\\2024\\2024 103894\\2024103894-160-GAP.dwg  
Printed By: Jack Brunalik  
Date Printed: 10/15/2024 1:04 PM



*BOTTOM LAYOUT*  
STANDARD WAINSCOTE



**TOP LAYOUT**  
12" OVERHANG  
WITH INSULATION BAFFLE



**CLEARY**  
BUILDING CORP.

190 PAOLI STREET / P.O. BOX 930220  
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: JACK BRUNSLIK		
DATE DRAWN: 10/09/24		
PLAN REVISIONS:		
NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:  
**CORNELISON, DAN**

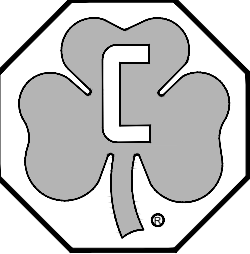
PROJECT SITE ADDRESS:  
605 ELM ST  
VAN METER, IA 50261 (DALLAS)

BUILDING SIZE:  
24' 0" x 24' 0" x 10' 4"

SHEET NAME:  
GAP DETAILS

PROJECT NUMBER: <b>2024103894</b>
SHEET NUMBER: <b>160</b>

WHEN PRINTED ON 24"x36"  
PAPER SCALE IS N.T.S.



**RESIDENTIAL PERMIT TYPE:** New Construction ☐ Renovation ☐ Garage ☐ Shed ☐ Deck ☐ Pool ☐ Other ☒

**COMMERCIAL/INDUSTRIAL PERMIT TYPE:** New Construction ☐ Renovation ☐ Other ☐ Approach

**ATTACH SITE PLAN, DRAWINGS AND/OR BUILDING PLANS**

**JOB SITE INFORMATION**

Project Address: 1605 Elm St  
Applicant Name: Dan Cornelisen  
Application Date: 4/4/25  
Plat #: \_\_\_\_\_ Lot #: \_\_\_\_\_  
Development Name: \_\_\_\_\_  
Commercial ☐ Industrial ☐ Public ☐  
Single Family ☐ Two Family ☐ Mult-Family ☐  
Property in a flood plain? Yes ☐ No ☐ Minimum Elevation MPE \_\_\_\_\_

**BUILDING SQUARE FOOTAGE**

Level 1 \_\_\_\_\_ Pool Size \_\_\_\_\_  
Level 2 \_\_\_\_\_ Deck Size \_\_\_\_\_  
Basement Finished \_\_\_\_\_ Garage \_\_\_\_\_  
Basement Unfinished \_\_\_\_\_ Shed \_\_\_\_\_

**DESCRIPTION OF PROJECT**

Driveway Approach  
See attached

PDF building plans preferred

**PERMIT FEES** (to be completed by V&K)

PROJECT VALUATION	Building	Trades
\$ _____	\$ _____	\$ _____
	Approach	\$ <u>50<sup>00</sup></u>
	Sewer Connection	\$ _____
	Water Connection & Excise Tax	\$ _____
	<b>Total Permit Fee</b>	\$ <u>50<sup>00</sup></u>

**ADDITIONAL ACKNOWLEDGEMENTS**

- Except as provided by law, where any work has been started prior to obtaining this permit, the regular fee should be doubled.
- This permit shall expire if work has not commenced or has been abandoned for 120 days.
- ALL WORK MUST BE INSPECTED. It is the responsibility of the permittee to call for inspections. No work shall be concealed or covered until approved by the inspector.
- The permittee acknowledges that they are proficient in the performance of the work covered by this permit.
- Complete the application and submit all required documentation (including PDF plans) to the City of Van Meter at [permits@vanmeteria.gov](mailto:permits@vanmeteria.gov). Work may only commence upon receipt of an approved permit and payment of the permit fee to the City of Van Meter.

**OWNER OR AGENT SIGNATURE**

X \_\_\_\_\_ Date: 4/4/25

**WHEN APPROVED BELOW, THIS BECOMES A VALID PERMIT**

Issued By: Chris Campbell Date: 4-7-25  
Building Official

☒ Payment Received Date: 4/4/25 Amount: \$ 50<sup>00</sup>

Property Owner

Name: Dan Cornelisen  
Address: 26819 - 360<sup>th</sup> St  
City: Van Meter State: IA Zip Code: 50261  
Email: CornelisenD@gmail.com Phone: 515 4807857

Contractor

Name: CMC Solutions  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Email: \_\_\_\_\_ Phone: 515 5052245

Architect-Engineer

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Email: \_\_\_\_\_ Phone: \_\_\_\_\_

Sub-Contractors

Electrical Contractor Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
State License #: \_\_\_\_\_  
Plumbing Contractor Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
State License #: \_\_\_\_\_  
Mechanical Contractor Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
State License #: \_\_\_\_\_

contact Veenstra & Kimm with any questions or to  
request an inspection. A 24 hour notice is required prior to an  
inspection request.

[buildinginspection@v&k.net](mailto:buildinginspection@v&k.net) Phone: 515-850-2080





1516035.89, 558421.94



Parcel ID 1527102005  
Sec/Twp/Rng 27-78-27  
Property Address 605 ELM ST  
VAN METER

Alternate ID n/a  
Class R  
Acreage n/a

Owner Address CORNELIUSON, DANIEL  
605 ELM ST  
VAN METER, IA 50261

District 420000  
Brief Tax Description LOT 5 BLK 7

# Van Meter

tradition with a vision

310 Mill Street, PO BOX 160  
Van Meter, IA 50261  
Phone: 515-996-2644 opt 4  
Email: [permits@vanmeteria.gov](mailto:permits@vanmeteria.gov)

## Right-of-Way Construction Permit Application

Upon approval, this permit is valid for 6 months from date of issuance. Notice is required 1 week prior to work commencing.

Date Submitted: 4/4/25

Project Address: 605 Elm St

Project Owner: Dan Cornelissen

### DESCRIPTION OF WORK (Mark all that apply.)

☐ new ☐ repair ☐ remove ☐ replace ☒ install ☐ relocate

<b>WATER</b> <input type="checkbox"/> service tap <input type="checkbox"/> main <input type="checkbox"/> cut-off <input type="checkbox"/> hydrant	<b>GAS</b> <input type="checkbox"/> service <input type="checkbox"/> main <input type="checkbox"/> cut-off
<b>SEWER</b> <input type="checkbox"/> service <input type="checkbox"/> main <input type="checkbox"/> cut-off	<input type="checkbox"/> pole <input type="checkbox"/> anchor <input type="checkbox"/> ug cable <input type="checkbox"/> sump pump drain
<input checked="" type="checkbox"/> driveway approach <input type="checkbox"/> curb & gutter	<input type="checkbox"/> grind curb <input type="checkbox"/> sidewalk <input type="checkbox"/> Other _____

Contractor: CMC Solutions

Address: \_\_\_\_\_

Phone: 515-505-2245

Contact: Tommy Westrom

Email: \_\_\_\_\_

### STREET SURFACING TYPE

☐ Concrete ☐ Asphalt ☐ Gravel ☐ Concrete w/ asphalt overlay ☐ N/A

### SKETCH



*See attached map*

The permit holder must erect and maintain all barricades, warning devices and signs as required by the Iowa Manual on Uniform Traffic Control Devices.

The signor hereby applies for a permit to perform the work described above on City streets, alleys, public utility easement or other public grounds. The undersigned further certifies that all affected utility companies have been or will be notified of the proposed construction and their facilities will be located utilizing IOWA ONE-CALL (1-800-292-8989) prior to commencement of the work. All work will be performed in accordance with applicable City Ordinances of the City of Van Meter.

The permit fee is \$50 per excavation. This permit expires 6 months from the date of approval. However, the applicant/contractor must provide no less than 1 week of notice to Public Works prior to commencement of work each time work is performed. Please email [permits@vanmeteria.gov](mailto:permits@vanmeteria.gov) to provide notice.

**PAID**  
4/4/25 gprake

Requests for inspections shall be made 24 hours in advance: (515) 996-2644 opt 4

Applicant's Signature: \_\_\_\_\_

Date: 4/4/25

Special Terms and Conditions: \_\_\_\_\_

Public Works Director  
Signature: Drew McCombs

Date Approved: 4-4-2025



50 ft

CROSS ST

VIRGINIA ST

1516035.89, 558421.94



Parcel ID	1527102005	Alternate IDn/a	Owner Address	CORNELIUSON, DANIEL
Sec/Twp/Rng	27-78-27	Class R	605 ELM ST	
Property Address	605 ELM ST	Acreage n/a	VAN METER, JA 50261	
District	VAN METER			
Brief Tax Description	420000 LOT 5 BLK 7			



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**605 Elm Street---HELP**

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**From** Dan Cornelison <cornelisond@gmail.com>

**Date** Thu 5/22/2025 4:33 PM

**To** Elizabeth (Liz) Faust <lfaust@vanmeteria.gov>

**Cc** Chris Campbell <ccampbell@v-k.net>; Jess Drake <jdrake@vanmeteria.gov>; Terry J. Nelson <tnelson@clearybuilding.com>

Liz,

I have a problem.

**Issue**

I am set for the Board of Adjustment meeting on Thursday May 29 related to siding and roofing on a garage at 605 Elm not being in compliance with City Code. When I was notified that someone complained the siding and roof was not in compliance with City code I notified Cleary Building Corp that we could not proceed with the siding and roof until I got past the request for variance on May 29. Just a few minutes ago I was informed that a crew is on site and has applied the roof and most of the siding. I told them to immediately stop further installation.

I am aware that completion of the siding and roof before the Board of Adjustment hearing could result in a refusal to grant a variance. That gives rise to my concerns.

I have been told by Terry Nelson, senior manager with Cleary that the crew siding the garage was only supposed to frame the building ...not apply the siding and roof. I talked to a member crew and they said "Well we were told you had a building permit so we thought it was OK."

**Background**

This is one heck of a situation. I get a building permit signed by the City Building Inspector. The permit was based on building plans that very specifically provided the garage siding and roof was metal and it was a "Cleary Building". I relied on that building permit and proceeded to pay for the garage, have site work done and get construction started. I get notice of a complaint that the garage is not in compliance with City code. I file for a variance from the City Code. I tell the contractor to stop further construction until I find out if I get a variance. The contractor stops further construction. A crew continues application of the siding and roof without my consent. I stop immediately stop siding and roof installation.

The crazy thing is that we have taken one of the worst run down and blighted homes in Van Meter, invested well over \$200,000 and are turning the property into one of the nicer older homes in town.

In the process, because of the stop in construction, the appraisal cannot take place for financing for the buyers. What was a month long delay may end up being a substantially longer delay.

Any assistance is appreciated. Again, I have stopped further installation of the siding and roof until after the Board of Adjustment hearing on May 29.

**Questions**

1. Do you recommend that the contractor remove the siding and roof that is installed? (I can only imagine that will leave some damage to framing and the metal. )
2. Perhaps the more specific question is whether the Board of Adjustment has the power to grant an adjustment IF THE SIDING AND ROOF IS 80%+ complete AND IF that work was completed after I was notified of non-compliance?
2. If I do not receive the variance from the Board of Adjustment can I appeal to City Council?

I am not venting or upset with anyone at the City, V&K or Cleary. It is frustrating that a citizen of Van Meter would proceed with this type of complaint. I know it wasn't a neighbor. Can the City tell me who filed the complaint?

Thank You!

Dan Cornelison  
(515) 480-7857

Sent from my iPhone

# **#6c- WRITTEN COMMENTS RECEIVED BY STAFF PRIOR TO HEARING**

No written comments received as of 3:15pm on 05/28/2025  
Staff will update at the meeting if comments received



## **#6d - PUBLIC INPUT**

## **#6e - APPLICANT CLOSING SUMMARY**

## **#6f - CITY CLOSING SUMMARY**

# Agenda Item #6g - CLOSED

## Public Hearing for a Variance Request

Sample Language:

**City Clerk:** *I would entertain a motion to close the public hearing.*

Board Member: \_\_\_\_\_ **So moved.**

Board Member: \_\_\_\_\_ **Second.**

**City Clerk:** Carter - \_\_\_\_; Anderson - \_\_\_\_; Lyons - \_\_\_\_; Young - \_\_\_\_; Doremus - \_\_\_\_.

**City Clerk:** *The public hearing is now closed at \_\_\_\_\_pm.*

There will be no further discussion with the public on this matter.

# Agenda Item #7

Discussion and Action:

VARIANCE Request - 605 Elm Street

Submitted for: **Discussion**

Board Members, the Applicant and City Staff discussion to ensue regarding the variance request. **There is no public interaction during this discussion and action.**

**The decision of teh Board is finale. It cannot be overturned by the City Council.**

**City Clerk:** Do I hear a motion?

**Sample Motion:** I move to (grant / deny) the request for variance to allow construction of a garage with metal siding & roofing at 605 Elm Street, Van Meter, IA, 50261 by Dan Cornelison.

**Board Member \_\_\_\_\_:** *So moved.*

**Board Member \_\_\_\_\_:** *Second.*

**City Clerk:** Carter \_\_\_\_\_ Anderson \_\_\_\_\_ Lyons \_\_\_\_\_ Young \_\_\_\_\_ Doremus \_\_\_\_\_

# Agenda Item #6

## Adjournment

**City Clerk:** *With no further business, do I hear a motion to adjourn?*

Board Member \_\_\_\_\_: ***So moved.***

Board Member \_\_\_\_\_: ***Second.***

**City Clerk:** All in favor? \_\_\_\_\_

**City Clerk:** This meeting is adjourned at \_\_\_\_\_pm. Thank you.